



January 9, 2023

Jill Rolfe
Director of Planning
Coos County Planning Department
Coos County Annex
225 N. Adams Street
Coquille, Oregon 97423

Phase 15 – Final Development Plan Review Application

Dear Jill,

Enclosed please find our documentation and submittal for the proposed facilities at the Bandon Dunes Golf Resort. For ease of review, the documentation is organized in the same format used in all previous Final Development Plan submittals.

This phase of development includes:

- Short Course #2
- Associated Starter Building
- Associated On Course Bathroom
- Associated Access and Parking
- Amendment to Pacific Dunes Clubhouse

Construction for the new amenities is expected to begin in 2023 and wrap up in 2024. Conservation efforts and protection of the site will continue well after construction is complete.

As in the case of prior applications, the owner and design team has sought to avoid adverse impacts by thoughtful and careful design integration. Through careful planning, we expect these proposed improvements will only increase the conservation efforts and overall experience of the resort. All improvements continue the tradition of preserving and protecting the natural resource features and values at the resort.

Should you require additional information, or if staff has any questions, please feel free to contact me. Thank you for your assistance.

Sincerely,

Zach Bascom



BANDON DUNES GOLF RESORT
57744 Round Lake Rd. | Bandon, Oregon 97411

Bandon Dunes Golf Resort

PHASE 15 – FINAL
DEVELOPMENT PLAN

(Short Course #2)

& AMENDMENT TO PRIOR APPROVALS

(Pacific Dunes Clubhouse)

January 9th, 2023

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PART I: INTRODUCTION

ORGANIZATION OF THIS SUBMITTAL

To facilitate review, the Phase 15 Final Development Plan Review Application is organized into three parts in the same manner as the previous submittals:

- PART I: An Introduction which describes the proposed development and rationale for the proposal; and a Summary Matrix Chart which responds to requirements outlined in Section 4.5.165 of the CCZLDO.
- PART II: A Technical Discussion presenting detailed information on relevant planning issues affecting the proposed development areas.
- PART III: Drawings which define the extent and location of the Phase 15 Development and other supporting documents.

PROPOSED PROJECT DESCRIPTIONS AND LOCATIONS

Project Description

This new course will involve no more than 32 acres of the 2140 acre Bandon Dunes Resort site. It will be located in the NR-3 Natural Resource subzone just south of the Bandon Preserve golf course and west of the Bandon Trails golf course.

Nearly one-half of the project area, about 15 acres, will be intensively managed to enhance and expand native plant communities. This will replace existing plant communities that are dominated by European beachgrass, gorse and dense stands of shore pine. Within this conservation area, approximately 2-acres will be set aside to promote and establish populations of open-sand species with a focus on Silvery phacelia (See Exhibit 2). These conservation areas will be utilized to educate resort visitors on this highly threatened species.

The remaining 17 acres will become ribbons of managed turf, mainly fescue, constituting the tees, greens, and approaches of a special-purpose, low-intensity, small-scape golf course. These elements will be carefully integrated into the restored duneland setting to ensure long-term sustainability as well as compatibility between recreation and habitat restoration.

Sustainability and integration permeate the thinking behind this proposal that will continue to grow and expand on the conservation success of the Bandon Preserve golf course. This approach will further establish a built-in, ongoing source of funding for observation, research, experimentation, and management of habitat reclamation, restoration, and enhancement. At present, continued non-native plant encroachment is steadily reducing available open-sand habitat for what is currently the largest documented remaining population of Silvery phacelia, found right here at Bandon Dunes Golf Resort. Meanwhile experience with the duneland portions of the Bandon Preserve and Bandon Trails golf courses

shows that this trend can be arrested and even reversed with ongoing, intensive management of open-sand areas as elements of specially-designed golf courses. This project will employ a similar open sand area, low impact, special use golf experience like the Bandon Preserve golf course, to extend the benefits of its success to a larger habitat restoration and expansion area.

The site's location is a prime opportunity area for habitat restoration and enhancement. Short Course #2 will be served by existing roadways and require very little development to establish the new conservation area. It will be tied in with the resorts' extensive trail system and will be a walking-only course, with the exception of ADA accommodations.

The new compact course is not expected to attract additional guests. They will continue to come to Bandon Dunes Golf Resort for its five 18-hole championship golf courses and world-class destination resort facilities. The new course will be a modest amenity, enhancing guests' immersion in the resort's natural setting, and, it is hoped, inducing them to stay a bit longer. As such, it is not expected to generate additional traffic or other off-site impacts.

In short, the proposed course and habitat enhancement project will align with the resort's dual missions of (1) providing a rich world-class golf experience for its guests, and (2) providing conscientious stewardship of the world-class natural setting central to that experience.

Conceived as an integral element of the scenic dunes natural resources area, the new course is yet to be named, but will be referred to as Short Course #2 throughout this Final Development Plan.

Project Location

This proposed project site is located south of the Bandon Preserve golf course and west of Bandon Trails golf course. It extends from an old sand borrow pit on the east, westward to an upland bluff overlooking open duneland. To the south, the site extends along the common property boundary line with Bullard's Beach State Park. See Exhibit 1.

Amendment to Pacific Dunes Clubhouse Final Development Plan

The Pacific Dunes Clubhouse was originally built with limited food and beverage service, and then later the currently existing clubhouse was permitted and constructed with a full service kitchen and bar.

The purpose of this amendment is to document the zoning compliance of the current development and clean up the planning portion of the documentation.

The Pacific Dunes Clubhouse is located in the GR-3 subzone within the Bandon Dunes Resort zone.

The driveway and parking already exist and this amendment will not create any change to the traffic flow or the amount of traffic.

See Exhibit 7 for the permitted Pacific Dunes Clubhouse location, site and floor plans.

THE EXISTING SCENIC DUNES ENVIRONMENT

As stated in the Bandon Coastal Dunelands Conservation, Recreation and Resort Development Master Plan, August 1996, one of the primary purposes of the project was to:

“Provide for resource conservation and enhancement while providing economic and recreational development pursuant to Statewide Planning Goals. The Master Plan calls for harnessing resource protection and low-impact recreational development in a manner that makes them mutually dependent and mutually supporting. The site has been heavily impacted by the encroachment of noxious alien plant species, unregulated hunting, off-road vehicle activity, gold mining and commercial timber management. Recovery and enhancement of the natural and scenic qualities of the site will be made both necessary and economically feasible as a key to the success of a development whose main selling point is the environmental health and beauty of its unique coastal setting.”

Over the past 25 years planning, design, and construction activities have been successful in realizing these goals. Unique to the Bandon Preserve golf course it not only prevents the spread of encroaching noxious alien plant species it also promotes the population growth of the threatened, rare, plant species, the Silvery phacelia. The Bandon Dunes Resort site is now known to have the largest population of Silvery phacelia in the United States thanks in large part to the immense conservation efforts made on the Bandon Preserve golf course.

However, in untouched areas of the Bandon Dunes Resort site the scenic dunes environment continues to lose the battle against three principle plant species; gorse, Scotch broom, and European beachgrass. Without intervention, these invasive species, together with the other exotic plants will dramatically alter the scenic quality of the existing scenic dunelands forever.

MANAGEMENT PRACTICES AND STUDIES IN THE SCENIC DUNELANDS

Similar to the Bandon Preserve golf course the construction of the new Short Course #2 will include the removal of additional areas of noxious beachgrass and gorse. The process of removing exotic plant species disturbs the conditionally stabilized soil. The activity creates a loose, open sand habitat that is ideal for the natural re-emergence of Silvery phacelia and other native duneland vegetation.

USF&W Study

In 2006, The U.S. Fish and Wildlife (USF&W) Service office in Arcata, California contracted with Jennifer Kalt to undertake a Status Review and Field Inventory for Silvery phacelia along portions of the Oregon and Californian coast. Her on-site inventory of the Silvery phacelia populations on resort and state park land was accomplished in June 2007. A final report published on April 1, 2008.

The study confirmed that the populations are small, highly fragmented and most are declining in numbers, the species is in danger of extinction. The study confirms that Silvery phacelia habitat is threatened by European beachgrass and gorse. In Oregon, Silvery phacelia is still listed as a “Threatened” species by the

Oregon Department of Agriculture who also lists their primary threat as non-native plant species, particularly European beachgrass and gorse.

Environmental Management Thesis Project

In June 2008, a staff intern, A. Edwards, at the Bandon Dunes Golf Resort undertook a recreational land management study of the area. As part of her study Ms. Edwards conducted an onsite inventory of the Silvery phacelia population.

The study determined that Silvery phacelia plants were scattered throughout the resort. Inventoried plants were mapped and several plan graphics prepared to illustrate the location of the Silvery phacelia population on resort and state park land.

A review of these maps indicates that the northeast and northwest portions of the proposed golf improvements would impact some Silvery phacelia plants. The mapping also indicates the majority of the golf improvement area would not impact the existing Silvery phacelia plants. After construction the course's conservation areas would greatly increase the area of habitat suitable for Silvery phacelia plant population growth.

Cultural and Historic Resource Preservation Practices

Bandon Dunes Golf Resort also features a variety of cultural and historic resources. This heritage will be preserved and celebrated by coordination with local tribes. Prior to development, coordination with local tribes will take place to identify any known sensitive sites near the proposed development. Following that early coordination appropriate steps and practices will be implemented to ensure all Oregon Law and established memorandums of understanding are adhered to throughout development.

LONG-TERM VIABILITY OF THE SCENIC DUNES ENVIRONMENT

The incorporation of conservation set-aside areas within the Short Course #2 ensures continued abatement of invasive plant species as well as increases the long-term viability of the scenic dunes environment.

DUNELAND CONSERVATION PROGRAM

The following describes the Short Course #2's conservation improvement program and its benefits.

Integrated Conservation and Recreation Improvement

The resort proposes to build the Short Course #2 – a special par 3 course – to:

- Further preserve and expand the Silvery Phacelia population in the H.L. McKee Preserve/NR-3 Subzone.
- Further increase the number of golfing choices at the resort.

Conservation Improvement Program

See Exhibit 2 – Conservation: Improvement Program Area.

The conservation improvement will begin with the removal of non-native plant life that threaten the scenic dunelands.

The course will be designed to promote native plant population growth and conserve their habitat. This includes defined walking corridors for golfers to follow in order to avoid both existing Silvery phacelia habitat and open duneland.

During course construction, Silvery phacelia plants disturbed will be transplanted to established conservation areas within the golf course. Additionally, harvested seeds from Silvery phacelia plants will be propagated and planted in conservation areas to establish new communities.

Once built the course area will receive ongoing maintenance that will prevent re-emergence of non-native plant life as well as keep conservation areas healthy for native plant growth.

This method of improving conservation areas has been very successful. With the Bandon Preserve golf course alone, that had an estimated Silvery phacelia count of 2,500 plants prior to construction, having now over 32,000 Silvery phacelia plants thriving in the area.

Benefits

In summary, this proposed Short Course #2 will result in the removal of extensive areas of existing non-native plant species such as European beachgrass and gorse. Areas of open sand will be created and maintained within and abutting the managed turf layout. The new conservation zones will be restored to a native plant communities that existed in the scenic dunes prior to the introduction of exotic plant species.

The integration of a golf course within a natural resource zone will also continue to create opportunities that educate golfers and other visitors about habitat restoration and coastal ecology. Furthermore, relocating the existing resort hiking trail through the new golf course provides foot access into the scenic dunes area for resort guests and day visitors.

DUNELAND RECREATION – PAR 3 GOLF COURSE

The following describes the Short Course #2, its recreational improvements to the resort, and its integrated conservation program.

Course Design

The Short Course #2 golf course will be designed to allow restoration of the native “dune mat” community and to minimize the impact on existing Silvery phacelia plants, while providing a golfing experience on par with the existing courses at Bandon Dunes Golf Resort. The layout protects existing

Silvery phacelia by utilizing short par three holes averaging 150 yards in distance. This allows for significantly less maintained turf acreage than a traditional course by using compressed islands of mowed fescue for the tee boxes, approach and landing areas, and greens. Linking these islands with narrow fairways of mowed turf will result in a major reduction of the mown turf normally associated with short golf courses.

The proposed course would offer resort guests more golfing choices. The course would provide golfers of all skill levels the opportunity to play a round of golf in less time than a standard 18-hole course. The requirement to play from a tee box to a limited approach and landing area over open sand and narrow fairways present a more unique challenge in comparison to others.

On the other hand, anyone being introduced to the game might welcome a short course as an alternate opportunity to play at a less strenuous level, and this might also include any other guest who had already played 18 holes, but did not feel up to playing another 18-hole round. The course would serve families who want to stay at the resort, thereby enabling all to play different courses at their own level of confidence.

Course Layout and Routing

The general layout of the proposed Short Course #2 golf course is shown on Exhibit 2. Check-in services will be provided at the Starter Building near the first tee with a small structure that includes pre-packaged food and beverage, restrooms, and a sitting area. This building will be accessed from Round Lake Road via a short entry road that leads to a parking area consisting of 24 standard stalls and one ADA stall (See Exhibit 5). A roundabout will be located adjacent to the Starter Building to provide shuttle drop-off and pick-up service for visitors.

An on course single stall restroom structure will be provided near the half waypoint of the course. Irrigation utilities for the new course will come off the existing irrigation facilities. All on course maintenance roads will be unpaved providing low impact access to the site. The course routing, size of structures, and proximity to existing infrastructure and facilities have all been important considerations in the design of the new course.

Land Requirements

The proposed golf course occupies no more than 32 acres. This is less than 30 percent of the area (average 120 acres) required for a typical PGA 18-hole golf course.

The breakdown of the 32 acres required for the project is as follows; see Exhibit 2:

- Total Golf Course Area Under 32 acres
 - Mown turf including tees, fairways, and greens Under 17 acres
 - Transplant Silvery phacelia conservation areas Approximately 2 acres
 - Duneland conservation areas including hiking trails Remaining 13 acres

Riparian Corridor Setback

All of the tee and green improvements are away from any regulatory riparian areas and their associated setbacks. Therefore, the golf course layout is in compliance with the BDR zone riparian setback requirement.

Golf Course Service Buildings

The Short Course #2 Starter Building is a compact structure occupying a footprint of less than 950 square feet. The building shape is a slim rectangular box with a low profile, sloped shed roof. The interior of the building is divided into four functional areas; two unisex restrooms, an electrical/mechanical room, a storage room, retail space that offers, beverages, pre-made food, and special merchandise to guests. Outside there will be an open air patio for scenic viewing.

Like all the courses at the resort the Starter Building provides golfers with a place to check in for their tee time, get information about course layout, pick up their golf bag if dropped off early by resort staff and meet up with their caddies.

The on course restroom is also a compact structure occupying a footprint of less than 50 square feet. Housing a single unisex restroom on the inside and a water bottle filling station on the outside.

See Exhibit 3 & 4 for building footprints and schematic design information.

Due to high construction costs and market volatility, the Short Course #2 may open with a modest temporary starter building utilizing modular or mobile structures until the permanent Starter Building is constructed. This temporary starter building would follow the same size and description as listed above.

HIKING TRAILS

Relocation of the Existing Dunes Trail

The Dunes Trail is a 2.4 mile ocean, woodland and golf view trail. Its trail head is at the Lily Pond Cottages or can be accessed from the Beach Trail and takes approximately 1.5 hours to hike. The west half of this trail, between Round Lake Road and the Beach Trail, currently routes through the proposed Short Course #2 golf course.

To maintain the scenic trail for resort guests and visitors as well as providing safety from mixing hikers with golf play the Dunes Trail routing will be modified to run along the south and west sides of the Short Course #2 golf course.

1c • Short Course #2	PROPOSED DEVELOPMENT	<i>Consisting of:</i> <ul style="list-style-type: none"> • Course occupies approximately 32 acres of that 17 acres are maintained turf. • Starter Building occupies 950 sf. • Restroom Structure occupies 50 sf. 	Part I, Page 9 Exhibit #2 Exhibit #3 Exhibit #4
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • Existing two story structure of approximately 4,200 sf. 	Exhibit #7

1d • Short Course #2	SITE CHARACTERISTICS i - Existing topography	-	-
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • Site is conditionally stabilized duneland with some open sand formations characterized by hillocks and valleys. With wooded areas on the south, west and east sides. • Mix of topography, generally flat, with modest mounds and sloping elevations. 	NRI/SA 2002
• Short Course #2 • Pacific Dunes Clubhouse	ii - Water amenities	<ul style="list-style-type: none"> • No water features are present. 	
• Short Course #2 • Pacific Dunes Clubhouse	iii - Vegetation types and locations	<ul style="list-style-type: none"> • Mix of European beachgrass, groups of shore pine trees with understory plants consisting of native shrubs and exotic plants such as gorse and scotch broom. 	NRI/SA 2002
• Short Course #2	iv - Areas of geologic instability	<ul style="list-style-type: none"> • Two buildings are in an Area of Limited Development Suitability. Prior to final siting and design a site specific geotechnical evaluation will be conducted at the approved site. 	Part II, Page 19
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • Since its construction in 2008 the site and surrounding areas have remained geologically stable. 	
• Short Course #2 • Pacific Dunes Clubhouse	v - Beach and dune formations	<ul style="list-style-type: none"> • No development in beach zones. • Some modifications to existing dune formations. 	Part II, Page 19

1e • Short Course #2	CIRCULATION SYSTEM	<ul style="list-style-type: none"> • As depicted on the Short Course #2 Exhibits 	Exhibit #2 and #5
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • Existing circulation will not change. 	Exhibit #7

1f • Short Course #2	PARKING PLAN	<ul style="list-style-type: none"> • As depicted on the Short Course #2 Exhibits 	Exhibit #5
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • Existing parking will not change. 	Exhibit #7

1g • Short Course #2	PEDESTRIAN & BICYCLE TRAILS	<ul style="list-style-type: none"> • Portions of the Dunes Trails in the area will be relocated outside the course area for safety reasons. 	
• Pacific Dunes Clubhouse		<ul style="list-style-type: none"> • NA 	

1h • Short Course #2 • Pacific Dunes Clubhouse	OPEN SPACE PROVISION	<ul style="list-style-type: none"> • Proposed development does not change open space percentage stated in Revised 2003 Master Plan 	Final Decision 2003
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1i • Short Course #2	PROPOSED RECREATION AMENITIES	• Add a short golf course as depicted in the Short Course #2 Exhibits.	Part I, Page 8
• Pacific Dunes Clubhouse		• NA	

1j • Short Course #2	WATER & SEWER FACILITIES	• Irrigation system provided will tie-in to existing system. • Potable water and sanitary sewer utilities to Starter Building and On Course Restroom building will be consistent with the master plan and all other applicable regulations.	Part II, Page 17 Part II, Page 17
• Pacific Dunes Clubhouse		• Potable water and sanitary sewer utilities to the clubhouse were installed in accordance with the master plan and all applicable regulations.	

1k • Short Course #2	DRAINAGE PLAN	• Most storm runoff self-drains into open sand within the course. Within the course, runoff is collected at selected low points and piped to a centralized soakage pit.	
• Pacific Dunes Clubhouse		• Storm runoff gravity drains into open sand areas, runoff from the clubhouse is piped directly away from the building.	

SECTION 2 LANDSCAPE / GOLF COURSE MANAGEMENT PLAN

2a • Short Course #2	CLIMATIC FACTORS & LANDSCAPE MANAGEMENT STRATEGIES	<i>Phase 15 FDP continues current policies and practices.</i>	Part II, Page 17
	• Site description	• Diversity of plant material in duneland and woodland settings; sandy soils, then humus layer, permeability is high.	
	• Climatic conditions	• Rainfall is high through 8-months of the year, summer's dry, strong winds.	
	• Landscape design/management strategies	• Bandon Preserve – Continue to increase Silvery phacelia populations. • Mitigate any negative impacts on Silvery phacelia during construction. • Selected removal of shore pines and exotic vegetation. • Use erosion control measures whenever and wherever necessary.	

2b • Short Course #2 • Pacific Dunes Clubhouse	HORTICULTURAL MANAGEMENT	<i>Phase 15 FDP continues current policies and practices.</i>	FDP Phase 1
	Objectives and practices for:		
	• Mowing	• Regular mowing of turf areas.	
	• Tree removal and pruning	• Ongoing removal of volunteer trees, European beachgrass and other exotic vegetation if re-growth appears.	
	• Irrigation	• Limited irrigation facilities w/ controlled application rates.	

	<ul style="list-style-type: none"> • Use of fertilizers & pesticides 	<ul style="list-style-type: none"> • Minimum applications to limited turf areas only, all pesticide use according to labeled rate only when necessary. 	
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2c <ul style="list-style-type: none"> • Short Course #2 	INTEGRATED PEST MANAGEMENT <ul style="list-style-type: none"> • Pest identification/monitoring strategies 	<i>Phase 15 FDP continues current policies and practices.</i> <ul style="list-style-type: none"> • To be monitored daily; daily reports to be reviewed by golf course superintendent. 	FDP Phase 1
	<ul style="list-style-type: none"> • Action thresholds for pest damage 	<ul style="list-style-type: none"> • Monitoring program to establish threshold impacts of potential pests and infestations. 	
	<ul style="list-style-type: none"> • Evaluation of control options 	<ul style="list-style-type: none"> • Application rates to be applied and increased in response to their level of effectiveness. 	
	<ul style="list-style-type: none"> • Education of field personnel 	<ul style="list-style-type: none"> • ODA Licensing & Monitoring Training 	
	<ul style="list-style-type: none"> • Evaluation of results 	<ul style="list-style-type: none"> • Continue current annual program evaluation and filing of reports to Coos County and appropriate regulatory agencies. 	

2d <ul style="list-style-type: none"> • Short Course #2 	PESTICIDE SAFETY PROGRAM <ul style="list-style-type: none"> • Storage 	<i>Phase 15 FDP continues current policies and practices.</i> <ul style="list-style-type: none"> • All pesticides stored in a dedicated, dry, well ventilated area that has restricted access. 	FDP Phase 1
	<ul style="list-style-type: none"> • Handling 	<ul style="list-style-type: none"> • All pesticides will be applied by personnel properly trained in the safe application of these agents and be licensed by the ODA. 	
	<ul style="list-style-type: none"> • Disposal 	<ul style="list-style-type: none"> • All spray units are triple rinsed and all rinsate applied to appropriately labeled turf sites. 	
	<ul style="list-style-type: none"> • Record keeping 	<ul style="list-style-type: none"> • All application records will be kept in accordance with ODA regulations. 	

2e <ul style="list-style-type: none"> • Short Course #2 	MONITORING PROGRAM <ul style="list-style-type: none"> • Water quality base line 	<i>Phase 15 FDP continues current policies and practices.</i> <ul style="list-style-type: none"> • Resort staff to establish baseline for water quality in reservoir. 	FDP Phase 1
	<ul style="list-style-type: none"> • Testing locations 	<ul style="list-style-type: none"> • Establish monitoring station on new golf course. 	
	<ul style="list-style-type: none"> • Frequency of testing 	<ul style="list-style-type: none"> • Initial monitoring will be done on a quarterly basis; long-term monitoring on an annual basis. 	
	<ul style="list-style-type: none"> • Analytes to be tested for 	<ul style="list-style-type: none"> • Ground water to be tested for temperature, conductivity, pH, alkalinity, nitrate, phosphate, and iron on each test. • Tests for herbicides, pesticides and organophosphates to be twice a year in the first year, and once each year after. 	
	<ul style="list-style-type: none"> • Reporting protocols 	<ul style="list-style-type: none"> • An agency approved format will be used for all reports. 	

2f <ul style="list-style-type: none"> • Short Course #2 	SITE NURSERY <ul style="list-style-type: none"> • Size and location 	<i>Phase 15 FDP continues current off-site nursery operations and would add restoration test plots and additional monitoring for Silvery Phacelia preservation and native plant community restoration subzones.</i> <ul style="list-style-type: none"> • No site nursery is planned for this phase. 	FDP Phase 1
	<ul style="list-style-type: none"> • Design and layout 	<ul style="list-style-type: none"> • Not applicable 	
	<ul style="list-style-type: none"> • Irrigation practices-water source 	<ul style="list-style-type: none"> • Not applicable 	
	<ul style="list-style-type: none"> • Fertilizer & pesticide use 	<ul style="list-style-type: none"> • Not applicable 	
	<ul style="list-style-type: none"> • Mitigation measures 	<ul style="list-style-type: none"> • Not applicable 	

	<ul style="list-style-type: none"> Relocation of existing native plants 	<ul style="list-style-type: none"> Not applicable 	
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2g	FIRE CONTROL/MANAGEMENT PLAN	Phase 15 FDP continues current policies and practices.	Part II, Page 18
<ul style="list-style-type: none"> Short Course #2 Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> Responsible Public Authorities 	<ul style="list-style-type: none"> Coos Forrest Patrol and Bandon Fire District 	
<ul style="list-style-type: none"> Short Course #2 	<ul style="list-style-type: none"> Potential use of on-site water source 	<ul style="list-style-type: none"> Presence of irrigation system on golf course would add to resort firefighting capability. Fire hydrant systems will be designed and installed according to applicable regulations. 	
<ul style="list-style-type: none"> Pacific Dunes Clubhouse 		<ul style="list-style-type: none"> Presence of irrigation system on golf course add to resort firefighting capability. Fire hydrant systems have been designed and installed according to applicable regulations. 	

SECTION 3 SITE AND UTILITY DESIGN, ENVIRONMENTAL IMPACTS, OVERNIGHT ACCOMODATIONS AND PRIVATE DWELLINGS, CONSTRUCTION PHASING & REGULATORY COMPLIANCE

3a	IMPACT ON RIPARIAN VEGETATION		Part II, Page 18
<ul style="list-style-type: none"> Short Course #2 Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> Riparian Corridor Protection Impact on Coastal Shoreland Lakes 	<ul style="list-style-type: none"> Site and building plan layouts complies with regulatory setbacks No proposed development near coastal shoreland lakes. 	

3b	WETLAND MITIGATION		
<ul style="list-style-type: none"> Short Course #2 Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> Quantity of wetlands affected Mitigation measures 	<ul style="list-style-type: none"> No wetlands will be impacted No mitigation measures are needed 	

3c	DEVELOPMENT RESTRICTIONS		
<ul style="list-style-type: none"> Short Course #2 Pacific Dunes Clubhouse 		<ul style="list-style-type: none"> NA 	

3d	IMPACT ON BEACH & DUNELAND		Part II, Page 19
<ul style="list-style-type: none"> Short Course #2 		<ul style="list-style-type: none"> Construction of the Short Course #2 would alter the grassed dune landscape character; protection and enhancement of the Silvery phacelia habitat would preserve the largest population of this threatened plant species. Preliminary geotechnical analysis of the proposed building locations appear suitable for development. Prior to finalizing the design a site specific geotechnical evaluation will be conducted of the approved locations. 	Exhibit #6
<ul style="list-style-type: none"> Pacific Dunes Clubhouse 		<ul style="list-style-type: none"> Since its construction in 2008 the site and surrounding areas have remained geologically stable. 	

3e	UTILITY SYSTEMS DESIGN		
<ul style="list-style-type: none"> Short Course #2 Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> Underground utilities 	<ul style="list-style-type: none"> New irrigation utilities will be connected to the nearby irrigation systems. New potable water, sewer, and power services will be provided to the structures. 	Part II, Page 19

	<ul style="list-style-type: none"> • System capacity and pipe sizing 	<ul style="list-style-type: none"> • All improvements would be designed and constructed under the supervision of a registered engineer 	Part II, Page 19
--	---	---	------------------

3f	<p>QUANTITY OF PUBLIC LODGING UNITS & RECREATIONAL DWELLINGS</p> <ul style="list-style-type: none"> • Short Course #2 • Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> • No public lodging facilities or private residential development is proposed in this application 	Part II, Page 20
----	---	---	------------------

3g	<p>CONSTRUCTION PHASING</p> <ul style="list-style-type: none"> • Short Course #2 	<ul style="list-style-type: none"> • 2023 - 2024 	Part II, Page 20
	<ul style="list-style-type: none"> • Pacific Dunes Clubhouse 	<ul style="list-style-type: none"> • Already constructed. 	

3h	<p>PLAN COMPLIANCE/APPROVAL CRITERIA</p> <ul style="list-style-type: none"> • Development consistent with approved Exception Statement 	<ul style="list-style-type: none"> • Development is consistent with approved Exception Statement 	Part II, Page 20
	<ul style="list-style-type: none"> • Development consistent with approved 2003 Revised Master Plan 	<ul style="list-style-type: none"> • Development is consistent with the Master Plan, including the boundaries, locational restrictions, open space dedication requirements, wetland mitigation measures, management unit guidelines, service and facilities plans, financial commitment requirement and numerical limits 	
	<ul style="list-style-type: none"> • Development meets standards established in Section 4.10.030 of the Coos County Zoning and Land Development Ordinance, Chapter IV-Zoning, Article 4.10 Bandon Dunes Resort Zone (BDR) 	<ul style="list-style-type: none"> • Development will meet BDR Subzone standards, at detailed herein 	
		<ul style="list-style-type: none"> • Development is consistent with uses permitted or prohibited in Exhibit F, Amendments to Coos County Zoning and Land Development Ordinance, Chapter IV Zoning, Article 4.10 Bandon Dunes Resort Zone (BDR), and the Bandon Dunes Resort Expansion, Final Decision including Supplemental Master Plan, Land Use Findings and Goal Exception Statement & Revised BDR Zone, adopted June 2003 by the Coos County Board of Commissioners 	

LEGEND: Supplemental Reference Sources

<ul style="list-style-type: none"> • 2003 Final Dec 	<ul style="list-style-type: none"> • Final Decision Report including Supplemental Master Plan, Land Use Findings and Goal Exception Statement & Revised BDR Zone adopted June 2003 by the Coos County Board of Commissioners
<ul style="list-style-type: none"> • 1996 Final Dec 	<ul style="list-style-type: none"> • Final Decision Report including Master Plan, Land Use Findings and Goal Exception Statement & BDR Zone adopted August 1996 by the Coos County Board of Commissioners
<ul style="list-style-type: none"> • FDP Phase I 	<ul style="list-style-type: none"> • Phase I: Final Development Plan, Part I and Part II submitted to Coos County July 31, 1997
<ul style="list-style-type: none"> • NRI 	<ul style="list-style-type: none"> • Natural Resource Inventory/Site Analysis, March 1993 and May 2002, prepared by Bandon Dunes Planning Team
<ul style="list-style-type: none"> • Part, Page, Exhibit Number 	<ul style="list-style-type: none"> • Refers to Phase 15 Final Development Plan report

PART II: TECHNICAL DISCUSSION

SECTION 4.5.165 – FINAL DEVELOPMENT PLAN APPLICATION CONTENT

A final development plan shall set forth, to the extent not previously addressed in the Master Plan or Exception Statement, and only to the extent applicable to the particular phase or element of the destination resort for which final approval is sought:

The following information is supplemental to the Summary Matrix Chart above in Part I and provides detail not otherwise included in the 1996 Bandon Dunes Final Decision or the 2003 Bandon Dunes Amended Final Decision.

1f: Parking Plan

The Short Course #2 will be accessed from Round Lake Road via driveway that leads to a modest parking area with 25 parking spots and a roundabout. Sizes and layout are shown on Exhibit 5. The driveway and parking will be constructed per CCZLDO Chapter 7 with final site plans being submitted with the building permit for approval.

Construction is expected to take place during the development of the site and construction of the buildings with final sign off or inspection of the driveway and parking happening prior to building occupancy approval.

The additional parking is not expected to generate added traffic to the resort or other off-site impacts as guests will be visiting in order to play the five 18-hole golf courses. This parking area along with resort shuttle service will aid in reducing congestion at the resort by providing an additional amenity within Bandon Dunes Golf Resort for the onsite guests to enjoy.

1j: Water and Sewer Facilities

All proposed structure will be connected to the existing sanitary sewer facilities and processed at the resorts sewage treatment plant. The current capacity of the treatment plant is 125,000 GPD. The treatment facility currently has sufficient capacity to accommodate the addition of these proposed developments. The resort currently generates approximately 60,000 GPD. Prior to connecting to the existing sanitary sewer facilities; DEQ will be notified, qualified professionals will complete a complete septic system design, and DEQ approval will be obtained.

Water is provided from the primary Bandon Dunes Golf Resort water treatment facility. The existing primary water system is capable of accommodating the addition of these proposed developments.

2a: Site and Climatic Conditions, Landscape Design, and Management Strategies

The site for the proposed low-impact golf course is a long, north to south, area south of the Bandon Preserve golf course and west of Bandon Trails golf course. Adjacent to state park land to the west and north of a forested natural resource subzone within the Bandon Dunes Resort zone.

The development of the course will focus on the extensive removal of Shore Pine trees, associated shrubs, European beachgrass and gorse. The conservation improvement program will focus on creating protected

Silvery phacelia habitat areas. These areas will be used as transplant conservations sites for phacelia plants that would have been over taken by previously existing exotic plant life. Silvery phacelia plants will also be strategically relocated away from any development disturbance into these set-aside areas. After construction of the course, the conservations areas will be marked as “out-of-bounds” for golfers. Golfers are allowed to retrieve a ball hit into one of these set-aside areas. No balls can be played from within the set-aside areas.

Red Fescue will be used exclusively on all turf areas. Irrigation systems will be connected to existing irrigation facilities in order to establish and maintain the turf.

This new course will employ the same landscape management strategies used resort wide and will particularly match those used at the Bandon Preserve golf course. Prior to the Bandon Preserve construction there were approximately 2,500 Silvery phacelia plant, now there are over 32,000 Silvery phacelia plants thriving in the area.

2b: Horticultural Management, Integrated (2c, d, and e) Pest Management Program

The development will continue to employ and practice previously established policies in these areas.

2g: Fire Control and Management Plan

Removal of existing vegetation has reduced the danger of a coastal fire. The presence of irrigation provides means of fighting a coastal fire or delaying its spread until firefighting equipment and manpower can be mobilized within the resort or from nearby local firefighting resources.

Fire protection for the resort continues to be the responsibility of the Coos Forest Patrol and the Bandon Rural Fire District. Where required a fire suppression system will be installed according to applicable requirements and designed by licensed professionals.

3a: Impact on Riparian Vegetation

All improvements associated with the proposed development will maintain any required 50-foot riparian setbacks. Removal of riparian vegetation is not required for the development being proposed.

3b: Wetland Mitigation

No mitigation is required as there are no inventoried wetland features within the areas of development. Any wetland encountered during this development will be delineated and avoided or mitigated through the appropriate agencies if impacts cannot be avoided.

3c: Development Restrictions – CC&R's

No CC&R's are required at this time to protect resort open space or to ensure compliance with other applicable standards because of this proposed development. All proposed development is consistent with the use-specific subzones, permitted uses, and standards in each applicable subzone.

3d: Impact on Beach & Duneland

No development will occur on beach lands during this development.

The Short Course #2 golf course and the conservation program effort are located in an Area of Limited Development Suitability. This Final Development Plan proposes two small golf service buildings as part of the development. The Starter Building which will be built to provide a check-in facility for golfers, prepackaged food and beverage, and support space for the resort staff monitoring play on the course. The on course bathroom will be built to provide golfers with the needed restroom facilities.

Present geo-technical assessments for the site indicate there would be no significant hazard issues regarding potentially adverse impacts on the duneland environment. Given the one-story height and small size of the buildings, no major geo-technical problems regarding foundation design are anticipated for these structures. See Exhibit 6. Prior to choosing and finalizing the site and building design a site specific geotechnical evaluation will be conducted at the approved building locations. Including subsurface explorations, laboratory testing, and if required slope stability analysis to identify all potential geotechnical hazards and establish geotechnical design parameters for the conditions encountered.

The design of these buildings will be minimized to limit the construction impact to the surrounding areas. During construction strategic site planning will occur to locate the buildings within the natural site, preserving the landscape and protecting mature trees. After construction rehabilitation of the surrounding landscape will take place using native plants.

Although it will be necessary to remove some existing vegetation on the construction site, much of the vegetation removed will consist of non-native exotic plants such as European beachgrass and others. Construction will also impact portions of the Silvery phacelia population in the area, however similar to the Bandon Preserve course's successful Silvery phacelia transplant process, much of the impacted existing Silvery phacelia will be successfully transplanted to set-aside conservation areas.

Access to and from these facilities will be provided by paved pathways to control the movement of guests and staff and prevent disturbance of the surrounding conservation areas.

Regular maintenance of the golf course and continued efforts of resort staff on enhancing habitat areas for the maintenance and proliferation of the Silvery phacelia plants will ensure preservation of this threatened native plant species.

3e: Site and Utility System Design

The primary goals of preserving existing phacelia habitat and minimizing the impact on the existing Silvery Phacelia population will shape the site design. The site planning and design process for the project recognizes that the proposed site is presently classified as a "natural resources conservation area" and

zoned as the NR-3 Scenic Dunes subzone in the Coos County zoning code. The envisioned design will blend a short course layout with a natural resource conservation program that will have minimal impact on existing natural resources and associated amenity values.

Potable water required for the proposed buildings will be supplied by the existing water system at the resort. All proposed buildings will be connected to the sanitary sewer facilities and the effluent piped to the resort's sewage treatment plant. Other infrastructure improvements would include installation of electrical power, tele-communications, and propane tanks (where applicable). All necessary utilities are currently extended to the general areas and will be further extended underground as needed.

3f: Public Lodging Units and Recreational Dwellings

No public lodging units or recreational dwellings are proposed in the development.

3g: Construction Phasing

- Conservation Course #2 –
 - Course 2023-2024
 - Starter Building 2023-2024
 - On Course Restroom 2023-2024
- Conservation / Restoration Program
 - Phase 1 – Remove Non-native Noxious Vegetation Early 2023
 - Phase 2 – Establish Set-Aside Conservation Areas Spring 2023
 - Phase 3 – Transplant Existing Away from Impact Spring 2023
 - Phase 4 – Maintain and Grow Habitat and Population 2023 - 2026

3h: Plan Compliance and Approval Criteria

Consistency with the Exception Statement

The proposed development is consistent with the 1996 Master Plan Master Plan, and the 2003, 2010, 2014, Supplemental Exceptions/Amendments. More specifically, the proposed development is consistent with the acknowledged 2021 Supplemental Exception/Amendment, which designates the affected areas for development, including the improvements proposed in Phase 15.

Consistency with the 1996 Master Plan and 2003 Revised Master Plan

The proposed buildings and other site improvements including associated parking areas and utility services have been located with regard to all location and use restrictions mentioned in both FINAL DECISION documents. Utility services have been expanded and updated as required to service the new facilities. The financial commitments required have been exceeded in the past.

Meets Standards established in Section 4.5.160

All standards outlined in the 2003 FINAL DECISION have been met. All required setbacks near the riparian corridors and perimeter property lines have been met.

Proposed Uses are permitted uses under Section 4.5.125

All proposed uses are permitted outright at their proposed locations.

In Conclusion

All approval criteria stated in Section 4.5.170 have been met, and the Phase 15 Final Development Plan is in compliance with the 2003 FINAL DECISION document.

Exhibit 1: Project Location Map

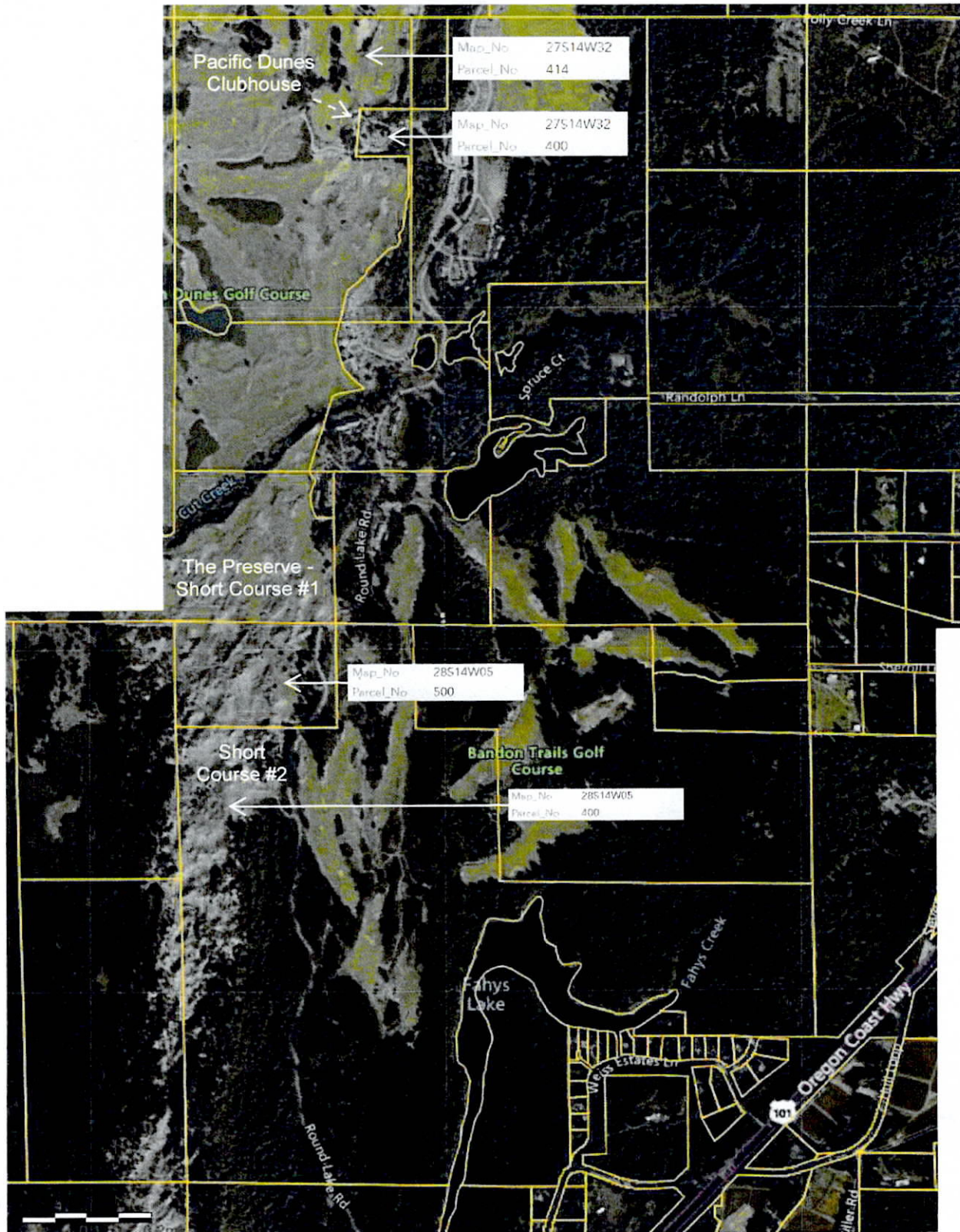


Exhibit 2: Golf Course Layout

Contours shown at 2 foot intervals per NCRS LiDAR Data

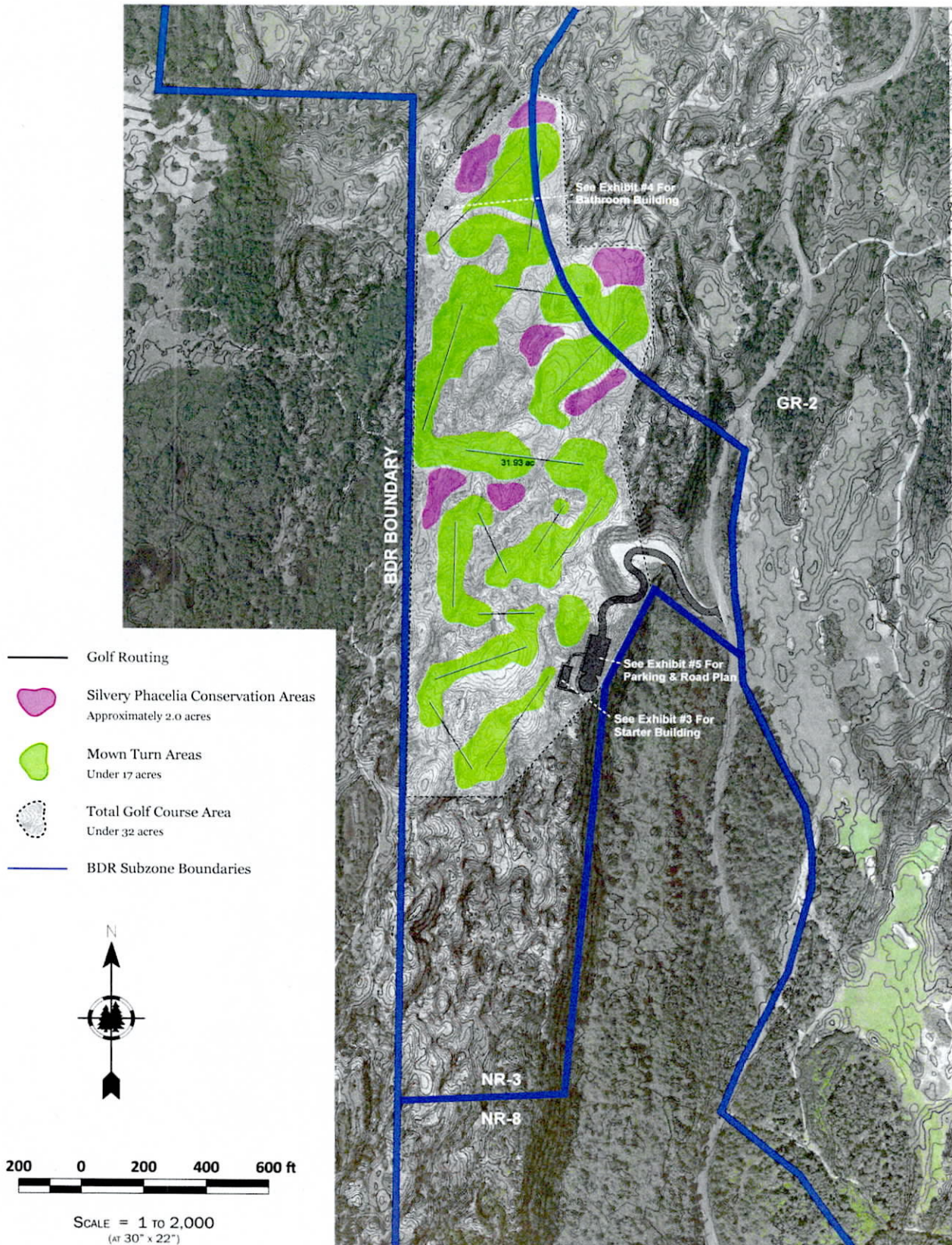
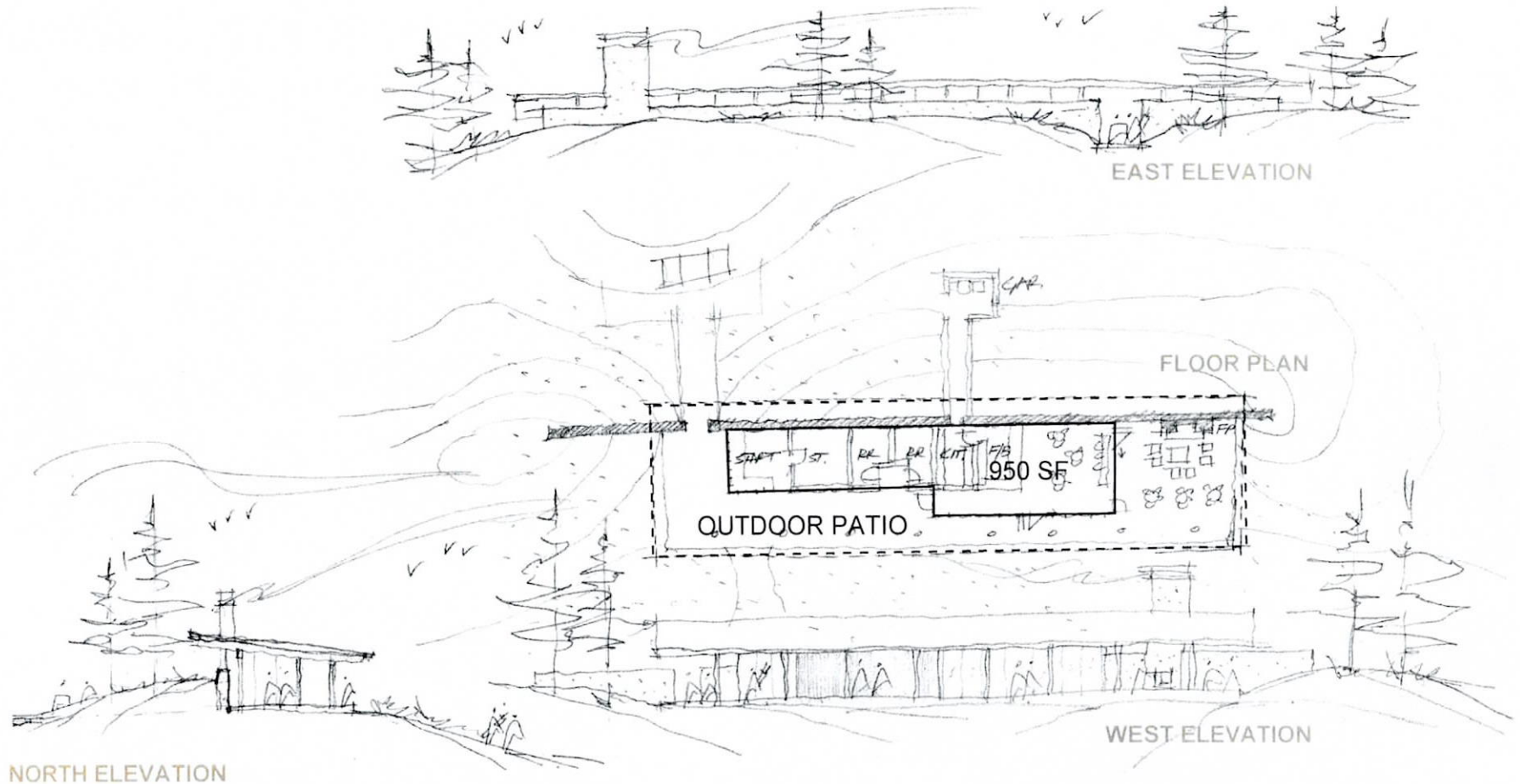
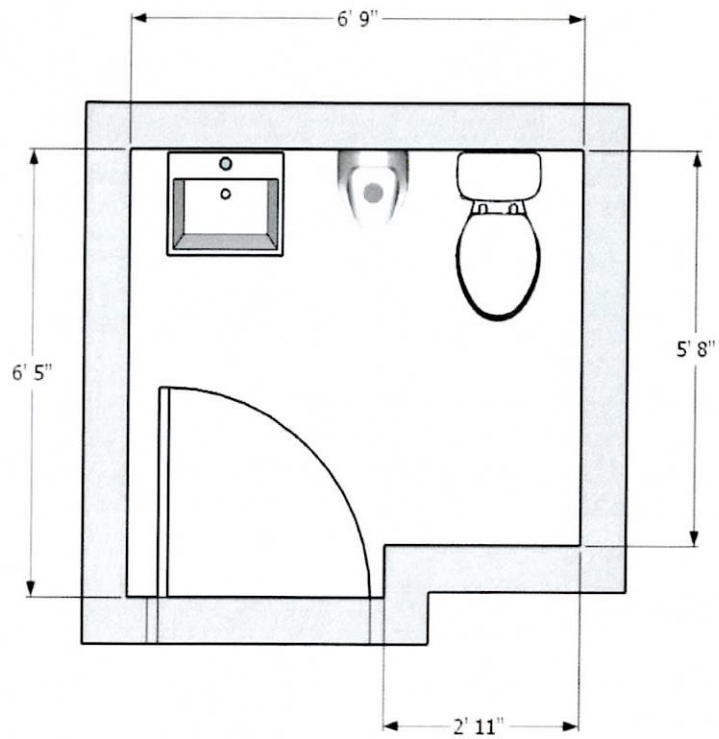


Exhibit 3: Short Course #2 Starter Building Floor Plan



* Represents the proposed Starter building, final design to be submitted for building permit approval.
* Interim temporary trailer to serve as starter building until final Starter Building is constructed if needed.

Exhibit 4: Short Course #2 On Course Restroom Floor Plan



* Layout and image represent typical on course bathrooms, final design to be submitted for permit approval.

Exhibit 5: Short Course #2 Site Parking, Road, and Pathway Plan



*Represents proposed design of the new driveway and parking, all to be constructed per CCZLDO Chapter 7.

Exhibit 6: Conserve Course #2 Limited Suitability Assessment (8 pages)

Cascadia Geoservices, Inc.

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Port Orford, Oregon 97465
D. 541-332-0433
C. 541-655-0021
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www: CascadiaGeoservices.com



January 8, 2023

Coos County Planning Department
60 E Second Street, Coquille, OR 97423
Mailing: 225 N Adams Street, Coquille, OR 97423
Email: planning@co.coos.or.us

Technical Memorandum regarding Beach and Dune Overlay Zone and Geotechnical Suitability for Proposed Bandon Dunes Second Par 3 Short Course (Revised),
Bandon Dunes Golf Resort
57744 Round Lake Drive
Bandon, Oregon 97411
T28S, R14W, Sec 05, Tax Lot 400
CGS Project No. 22007

Dear Coos County Planning Department,

Cascadia Geoservices, Inc. (CGS) is pleased to provide you with this Technical Memorandum on behalf of Bandon Dunes Golf Resort, regarding a proposed new golf course at Bandon Dunes. This Technical Memorandum is revised from an earlier memorandum submitted January 25, 2022. The new Par 3 Short Course will be located in Tax Lot 400, T28S, R14W, Sec 05, within the Bandon Dunes Golf Resort (see Figure 1, Location Map) and will encompass approximately 32.0 acres (see Figure 2, Site Map). Our understanding is based on ongoing correspondence with Bandon Dunes Golf Resort and on a site visit with key resort personnel on January 12, 2022.

The site is located within the Statewide Planning Goal 18 Beach and Dune Overlay Zone. Based on a review of the Coos County map atlas,¹ the area proposed for the golf course has been classified, in accordance with Goal 18 eligibility inventory, as having "Limited Suitability" for development (see Figure 3, Development Suitability). This area is mapped primarily as open dune sand (See Figure 4, Dune Classification) with lesser, younger, stabilized dunes which are moderately vegetated with both native dune

¹ Viewed online at <https://www.coastalatlantlas.net/coos-all-hazards/>

grasses, in accordance with USDA² findings, and with exotic plants. This agrees with our site observations. The proposed site borders an area to the west which has been identified as being "Not Suitable" for development. This area consists of wet deflation planes and is characterized by hydric vegetation and soils and both native and exotic vegetation. The proposed golf course development will be set back a minimum distance of 50 feet from the eastern boundary of the area mapped as "Not Suitable." This area is shown on Figure 3.

We understand that Coos County has implemented CCZDO 4.11.129 as part of their Coos County Zoning and Development Ordinance in accordance with Oregon Statewide Planning Goal 18, Beaches and Dunes. We further understand that the intent of CCZDO 4.11.129 is to protect beach and dune areas within Coos County which have been classified as "Limited Development Suitability" and to allow development only upon the establishment of findings that consider at least:

- a) The type of use proposed and the adverse effects it might have on the site and adjacent areas;
- b) The need for temporary and permanent stabilization programs and the planned maintenance of new and existing vegetation;
- c) The need for methods for protecting the surrounding area from any adverse effects of the development; and
- d) Hazards to life, public and private property, and the natural environment which may be caused by the proposed use.

As part of our evaluation, we have observed the site proposed for development and compared this site to other adjoining, similarly developed links style golf courses within the Bandon Dunes Resort. In other areas where open dune sand and younger, marginally stabilized dunes have been developed, development has resulted in the establishment of dense, lush, and manageable vegetation. This has resulted in stabilization of the dunes from wind erosion. The sites are regularly monitored and maintained as part of the overall ground maintenance. The links style golf courses for which Bandon Dunes Resort is known, use the existing landforms and setting to develop

² U.S. Soil Conservation Service and Oregon Coastal Conservation and Development Commission, 1975. Beaches and Dunes of the Oregon Coast. U.S. Department of Agriculture, Soil Conservation Service, Portland, Oregon, 161 pp.

the courses thus preserving the topography of the dunes. And development at Bandon Dunes Resort has prevented the propagation and spread of undesirable, opportunistic noxious plants, and weeds, including gorse, which is prolific on this part of the coast. Because of this, it is our professional opinion that there are no adverse effects from the planned development and that the benefits of stabilizing the site and preventing the spread of exotic plants and weeds is very beneficial to preserving the dunes. Further, it is our opinion that, because the golf course will develop permanent vegetation, there is no need for temporary stabilization programs. Erosion- and sediment-control measures will be implemented during clearing of the site in accordance with DEQ's Best Management Practices.³ Permanent stabilization, including maintenance of new and existing vegetation, will be a significant part of the golf course operation. Intermittent areas not replanted will be left undisturbed, and native plant species will be propagated and the areas where they exist monitored.

It is further our opinion that development of the new golf course will not create hazards to either life, public or private property, or the natural environment. We believe that by controlling and eradicating the spread of gorse, the benefit to life, public and private property, and the natural environment will be increased by the control of wild land fires. And as discussed, we believe that the proposed development will not cause excessive destruction of desirable vegetation to areas to be preserved (including inadvertent destruction by moisture loss or root damage), or cause exposure of stable and conditionally stable areas to erosion or modify current air wave patterns leading to beach erosion. In our opinion, the proposed development, by controlling the spread of exotic plants, will allow desirable vegetation to flourish.

As part of the proposed golf course development, a wood-framed starter building will be constructed, which will be supported on a conventional shallow foundation. CGS has conducted preliminary site visits to two areas on the golf course site which appeared to be suitable to site the structure. Prior to choosing a site and finalizing design, a site-specific geotechnical site evaluation will be conducted at the chosen

³ Industrial Stormwater Best Management Practices Manual, February 2013. By Dennis Jurries, PE, and Krista Ratliff, prepared for the State of Oregon Department of Environmental Quality.

site. The site evaluation will include subsurface explorations, laboratory testing and, if required, a slope stability analysis. The report will provide geotechnical design parameters for the soils encountered and provide special siting measures, including setbacks.

We hope that this Technical Memorandum provides the County Planning Department with needed information to review and approve the proposed application for the new golf course. Please contact us if we can be of any further assistance.

Sincerely,

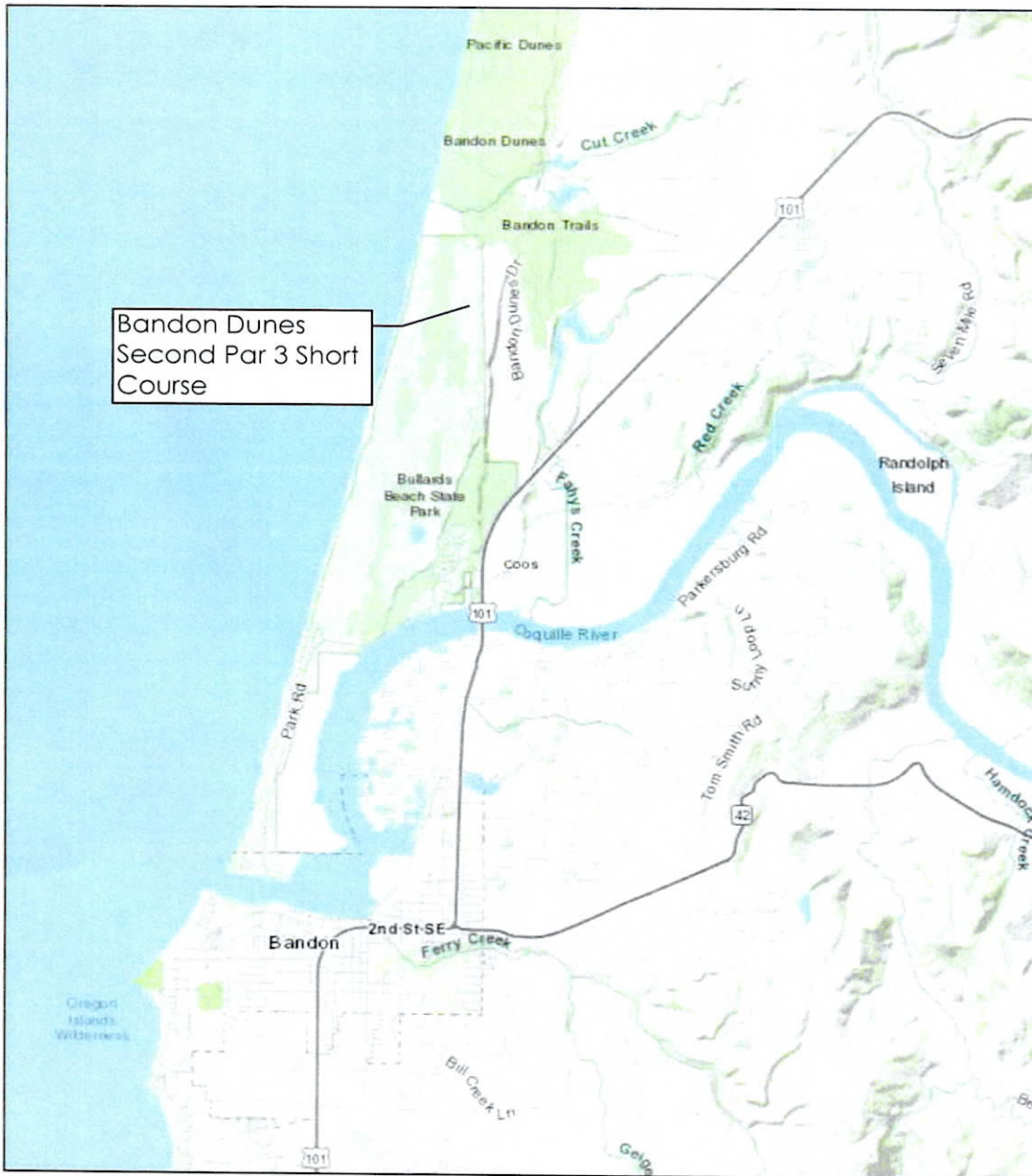
Cascadia Geoservices, Inc.



Eric Oberbeck, RG/CEG

FIGURES

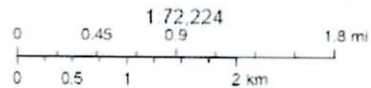
- Figure 1, Location Map
- Figure 2, Site Map
- Figure 3, Development Suitability
- Figure 4, Dune Classification



Bandon Dunes
Second Par 3 Short
Course

1/25/2022, 4:24:27 PM

- All Roads
- Highways (1)
- ▭ Townships
- ▭ City Limits
- ▭ Urban Growth Boundary
- ▭ Counties



Bar of 1

Provided by Coastal Atlas

Prepared for Coos County Planning Department



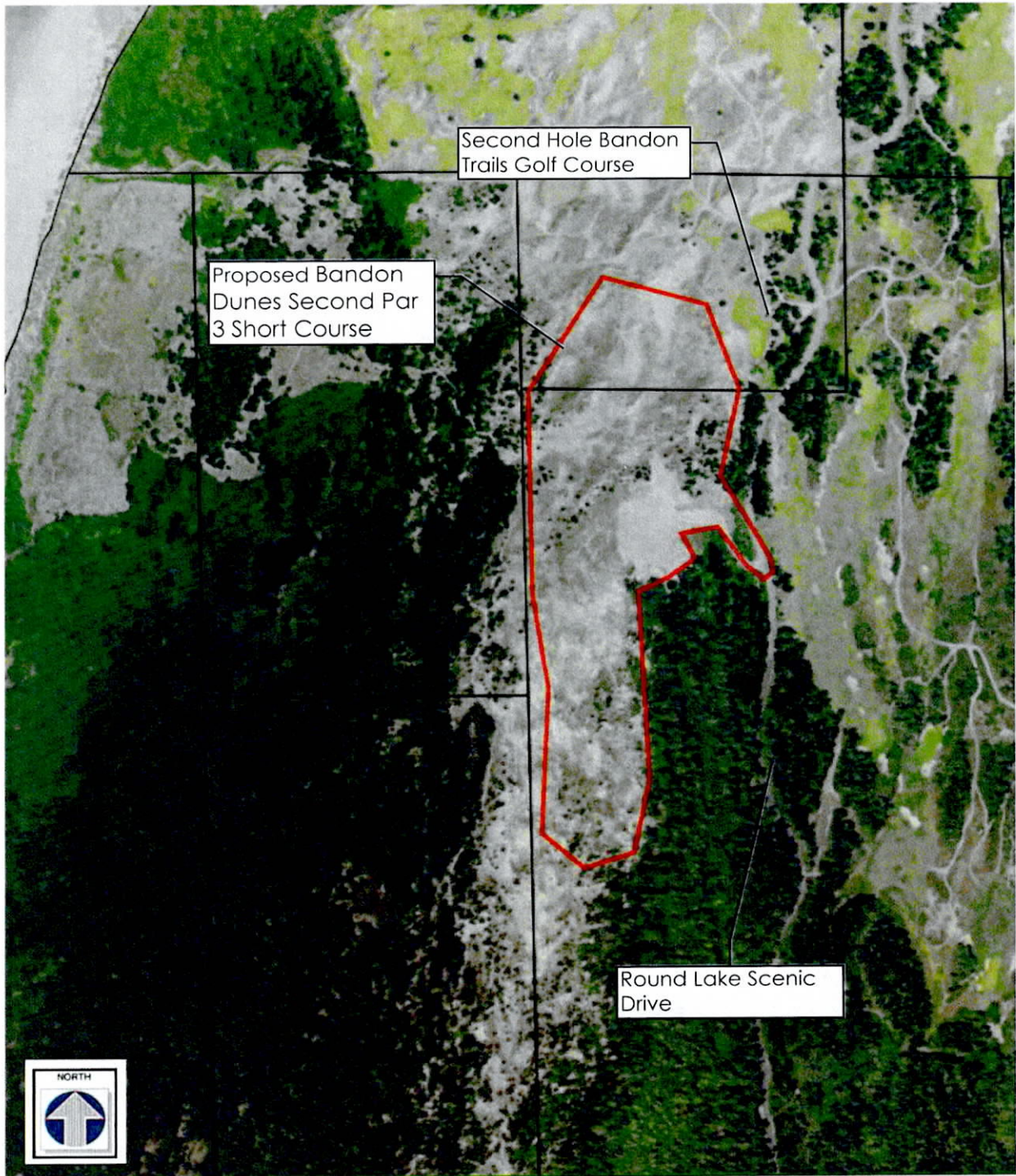
Project: 22007

January, 2023

Location Map

Bandon Dunes Golf Resort
57744 Round Lake Drive
Bandon, Oregon 97411

Figure
1



Prepared for Coos County Planning Department



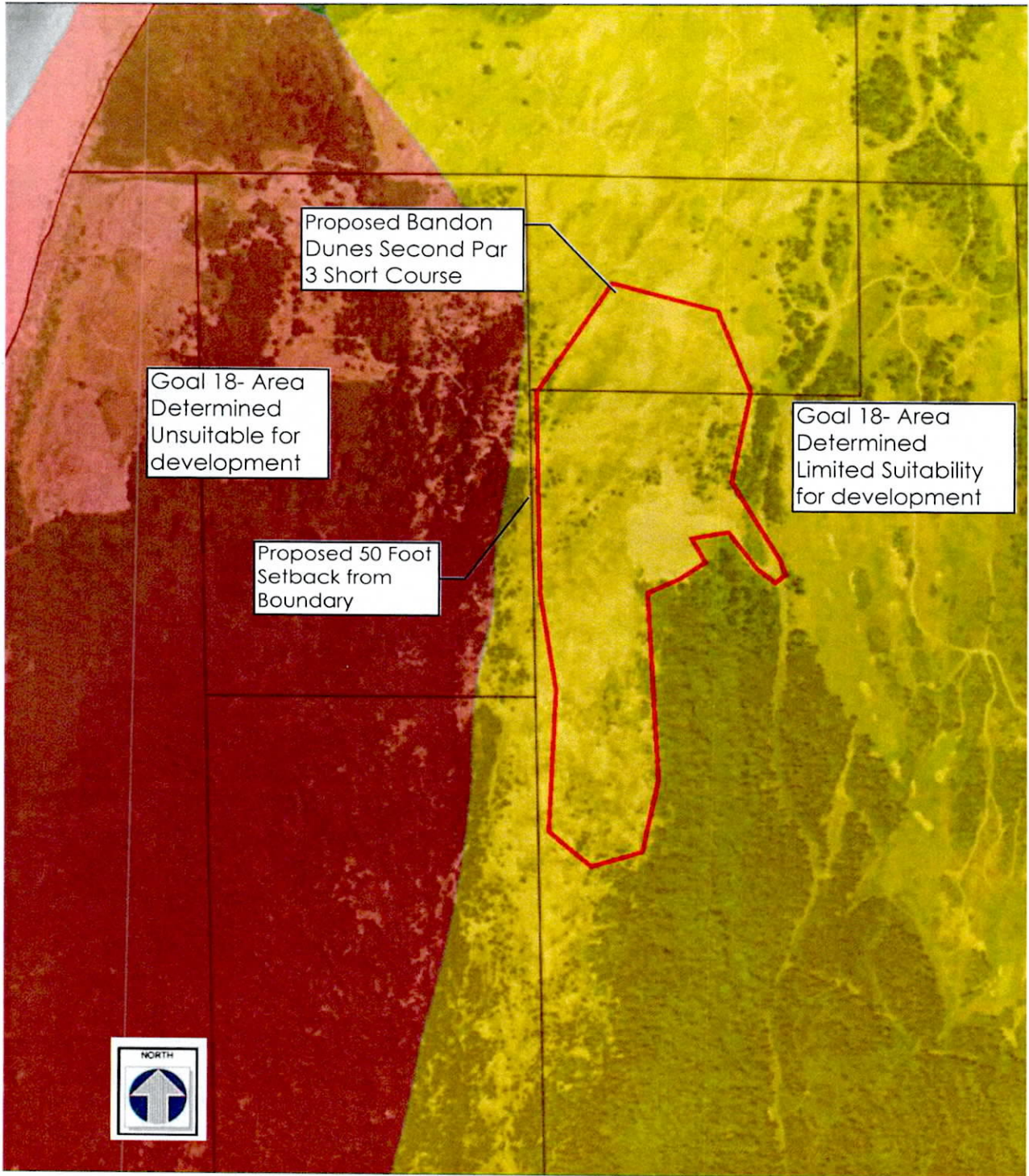
Project: 22007

January, 2023

Site Map

Bandon Dunes Golf Resort
 57744 Round Lake Drive
 Bandon, Oregon 97411

**Figure
2**



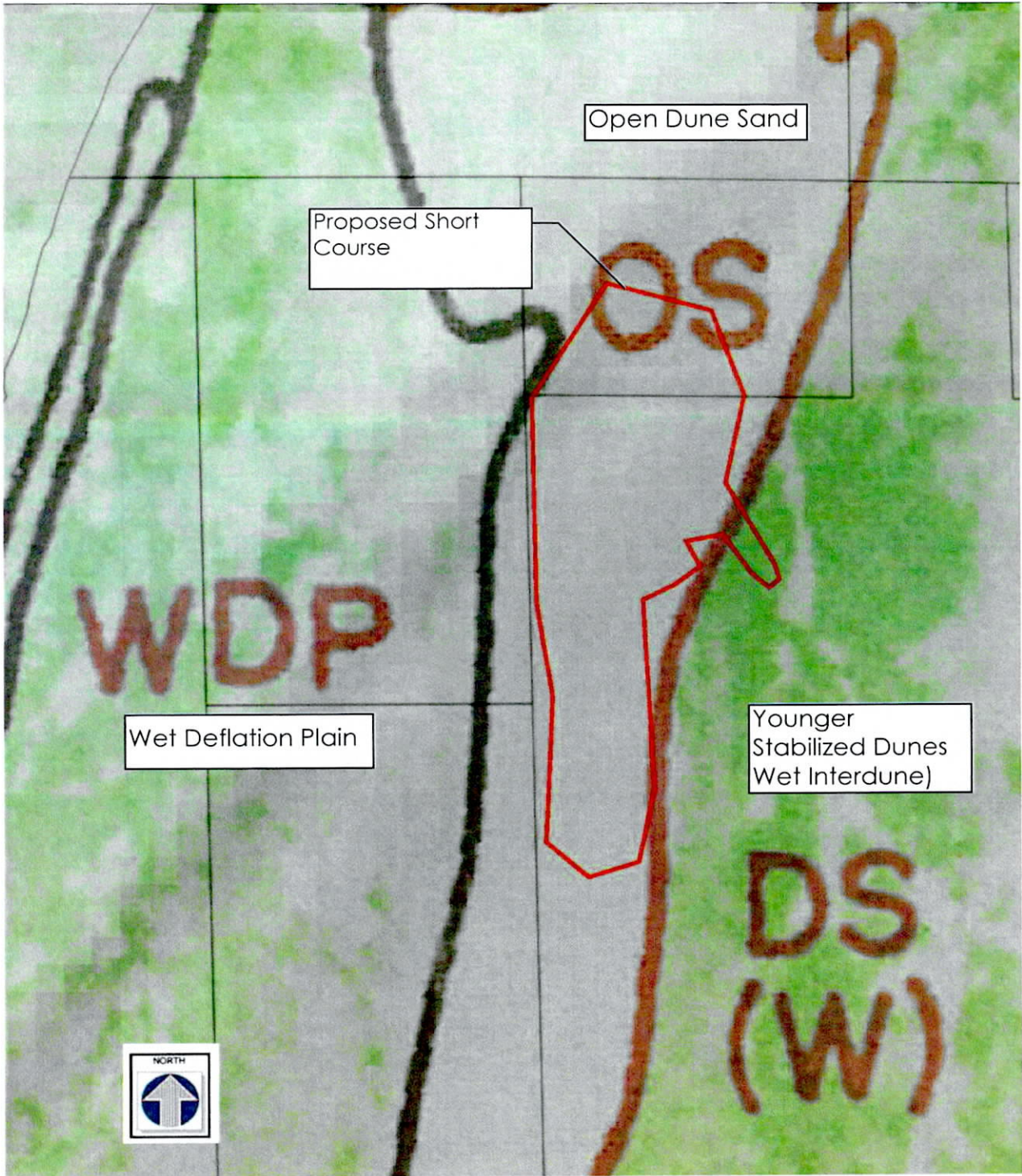
Prepared for Coos County Planning Department



Project: 22007
January, 2023

Development Suitability
Bandon Dunes Golf Resort
57744 Round Lake Drive
Bandon, Oregon 97411

**Figure
3**



Prepared for Coos County Planning Department



Project: 22007

January, 2023

Dune Classification
 Bandon Dunes Golf Resort
 57744 Round Lake Drive
 Bandon, Oregon 97411

**Figure
4**

FDP #15 Exhibit 7

Pacific Dunes Clubhouse

Bandon Dunes Resort

Bandon, Oregon



CODE INFORMATION

PACIFIC DUNES CLUBHOUSE

PROJECT ADDRESS:	BANDON DUNES RESORT PACIFIC DUNES COURSE BANDON, OR	CONSTRUCTION TYPE:	VIB) SPRINKLERED
PROPOSED USE:	CLUBHOUSE-RESTAURANT WITH RETAIL, OFFICE, GUEST SERVICES AND STORAGE	BUILDING AREA:	2,387 SF LOWER LEVEL 1,967 SF UPPER LEVEL 4,354 SF TOTAL
OCCUPANCY TYPE:	Occupancy - Non Separated Uses A-2 Primary Occupancy S-1 & 2 Non Separated Use B Non Separated Use M Non Separated Use	COVERED AREAS:	
		PORCH AREA:	1,142 SF
		UPPER PATIO & STAIRS:	1,225 SF
		BUILDING FOOTPRINT:	3,889 SF
		BUILDING HEIGHT:	35'-4"

GRAPHIC LEGEND

	REFERENCE ELEVATION	A	WINDOW TYPE
	DETAIL MARKER	01	DOOR TYPE
	BUILDING SECTION	1	FLOOR/CEILING TYPE
	EXTERIOR ELEVATION	1	WALL/ROOF ASSEMBLY TYPE
	INTERIOR ELEVATION	1	KEY NOTE
	NORTH ARROW SYMBOL		
	REVISION NUMBER		

OCCUPANT LOADS

A-2	Grill Kitchen Seating Bar w/ Seating	691 SF/200 Gross = 3 1074 SF/115 Net = 22 186 SF/7 Net = 27	102
B	(Accessory Use) Pro/ Food and Beverage Office Guest Services	710 SF/100 Gross = 2 86 SF/100 Gross = 1	3
M	(Accessory Use) Retail Breakroom	1106 SF/30 Gross = 37 241 SF/100 Gross = 2	39
S-1	(Accessory Use) Retail Storage Kitchen Storage	228 SF/300 Gross = 1 177 SF/300 Gross = 1	2
	Total Building Occupant Load		146

SHEET INDEX

G001 GENERAL INFORMATION
G002 CODE SHEET

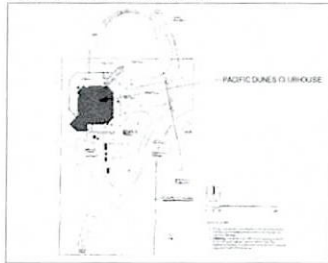
L001 GRADING PLAN

A001 SITE PLAN
A101 LOWER LEVEL PLAN
A102 UPPER LEVEL PLAN
A105 ENLARGED FLOOR PLANS
A106 ENLARGED FLOOR PLANS
A107 ELECTRICAL PLANS
A108 ROOF PLAN
A109 REFLECTED CEILING PLANS
A201 BUILDING ELEVATIONS
A202 BUILDING ELEVATIONS
A203 BUILDING ELEVATIONS
A204 BUILDING ELEVATIONS
A301 BUILDING SECTIONS
A303 BUILDING SECTIONS
A304 STAIR SECTIONS

A501 INTERIOR ELEVATIONS
A502 INTERIOR ELEVATIONS
A503 WINDOW SCHEDULE & TYPES
A504 DOOR SCHEDULE & TYPES
A505 INTERIOR ELEVATIONS
A506 INTERIOR ELEVATIONS
A507 INTERIOR ELEVATIONS
A601 FINISH & LIGHTING SCHEDULE
A701 AXONOMETRIC
A901 EXTERIOR MODEL PERSPECTIVES
A902 INTERIOR MODEL PERSPECTIVES
A903 STRUCTURAL FRAME AXONOMETRIC
A905 HYDRALIC ELEVATOR DETAILS

S1 1 STRUCTURAL GENERAL NOTES
S2 1 FOUNDATION PLAN
S2 2 SECOND FLOOR FRAMING PLAN
S2 3 ROOF FRAMING PLAN
S3 1 STRUCTURAL ELEVATIONS
S4 1 STRUCTURAL FOUNDATION DETAILS
S4 2 STRUCTURAL FOUNDATION DETAILS
S5 1 STRUCTURAL FRAMING DETAILS
S5 2 STRUCTURAL FRAMING DETAILS
S5 3 STRUCTURAL FRAMING DETAILS

LOCATION MAP



VICINITY MAP



ARCHITECTURAL ABBREVIATIONS

ACOUS	acoustic	JAN	janitor
ADJ	adjustable	LAV	lavatory
A F F	above finished floor	LAV	lavatory
AL	aluminum	MANUF	manufacturer
APPROX	approximately	MAX	maximum
B O	bottom of bearing	MECH	mechanical
CLR	clear	MTD	mounted
CONC	concrete	MTL	metal
COND	condition	MIN	minimum
COHT	continuous	NIC	not in contact
COORD	coordinate	C/C	on center
CJ	control joint	OPNG	opening
CMU	concrete masonry unit	PERF	perforated
CPT	carpet	PL	plate
C T	ceramic tile	P T	pressure treated
DWG	drawing	RB	rubber base
DIA	diameter	R D	roof drain
D S	downspout	RECCM	recommenation
EA	elevation	REGD	required
ELEV	elevation	RM	room
EXP	expansion	R S	rough sawn
EXIST	existing	SAWPM	self-adhering waterproof membrane
EAT	exterior	SIM	similar
F D	floor drain	S F	square foot
F E	fire extinguisher	SHT MTL	sheet metal
FG	floorgrain	S S	stainless steel
FIN	finished	STL	steel
FLR	floor	STRUCT	structural
F.O.	face of footing	TAB	top & bottom
FRMG	framing	TEL	telephone
GA	gage	T	temporary
FTG	footing	TEMP	temporary
GALV	galvanized	T O S	top of slab
GWB	gypsum wall board	T S	tube steel
H.C.	handicapped	TYP	typical
INSUL	insulation	U N O	unless noted otherwise
		W	walls
		WD	wood
		WP	waterproof

DEFERRED SUBMITTALS

1. AUTOMATIC SPRINKLER SYSTEM
2. AUTOMATIC FIRE ALARM SYSTEM
3. PREMANUFACTURED WOOD TRUSSES
4. MECHANICAL ENGINEERING
5. KITCHEN EQUIPMENT SCHEDULE

PROJECT DIRECTORY

CLIENT

Bandon Dunes Resort
Round Lake Drive
Bandon, OR 97411
541-347-5736

ARCHITECT

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STRUCTURAL ENGINEER

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MECHANICAL ENGINEERS

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HVAC-EMAIL: chris.morgan@mepecon.com
FLMB-EMAIL: don.pamish@mepecon.com

LANDSCAPE ARCHITECT

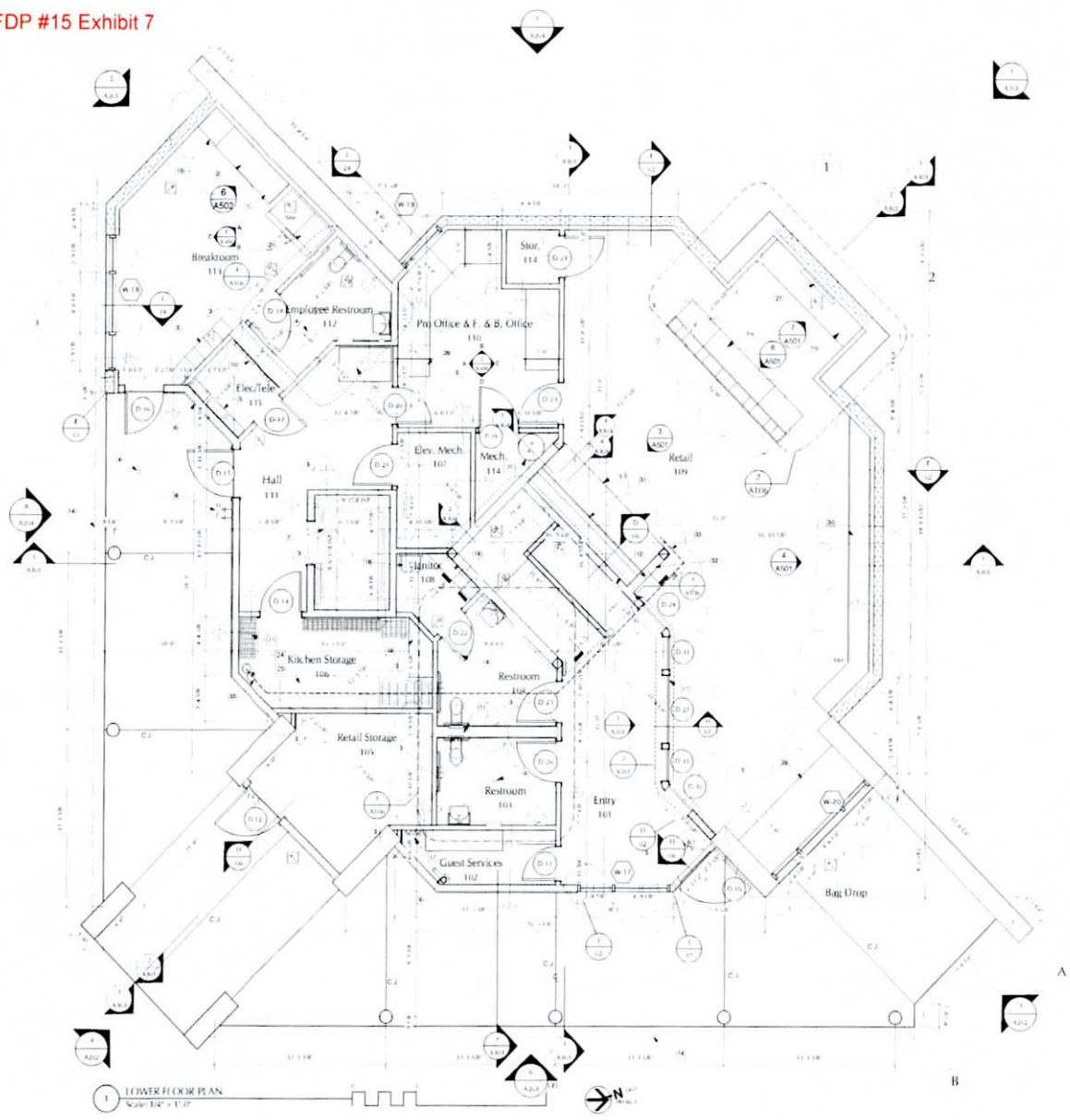
Bruce Johnson Design
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PROJECT DESCRIPTION

A TWO STORY CLUBHOUSE STRUCTURE OF APPROXIMATELY 4,200 SF THE LOWER LEVEL WILL CONTAIN A RETAIL 'PRO' SHOP, OFFICE, BREAKROOM, THREE RESTROOMS AND SUPPORTING STORAGE AREAS. A CENTRAL STAIR & SERVICE ELEVATOR PROVIDE INTERIOR CONNECTIONS TO THE UPPER FLOOR. THE UPPER FLOOR WILL CONTAIN A KITCHEN W/ GRILL OPEN TO THE MAIN ASSEMBLY SPACE, A BAR & UNISEX ADA RESTROOM. THE BUILDING IS TO BE FULLY SPRINKLERED AND WILL INTEGRATE AN AUTOMATIC FIRE ALARM SYSTEM.



DATE	DESCRIPTION	BY	CHECKED
10/27/12	10/27/12	JAH	JAH
11/05/12	11/05/12	BA	BA
11/05/12	11/05/12	DJS	DJS
11/05/12	11/05/12	02/05/08	02/05/08
11/05/12	11/05/12	N/A	N/A
11/05/12	11/05/12	2117_10	2117_10
11/05/12	11/05/12	2117_10_CD	2117_10_CD
COVER SHEET			
G-001			



1 LOWER FLOOR PLAN
Scale: 1/4" = 1'-0"

- NOTES:
1. UNDERCOUNTER REFRIGERATOR
 2. SINGLE BOWL SINK W/ KITCHEN FAUCET AND DISPOSAL
 3. EMPLOYEE STORAGE LOCKERS, METAL, FULL HEIGHT SPLIT IN HALF (TWO LOCKERS PER BAY)
 4. FLOOR DRAIN
 5. ELECTRICAL SERVICE PANELS, KEEP 3'-0" CLEAR SPACE
 6. ELECTRICAL DISCONNECT
 7. 2500# HOLELESS HYDRAULIC ELEVATOR, PROVIDE SHAFT VENTILATION & CODE PIT SUMP PUMP PER MECH.
 8. HOSE BIBB
 9. FIRE RISER
 10. TELEPHONE & NETWORKING EQUIP. LOCATION
 11. 2X10 WALL @ TOILETS
 12. FIRE EXTINGUISHER IN RECESSED WALL CABINET
 13. SCFIT AT 6'-0" BELOW STAIR
 14. EDGE OF ROOF OVERHANG ABOVE
 15. 24" PANTRY W/ SHELF FOR MICROWAVE
 16. PRO SHOP RETAIL COUNTER
 17. WOOD FRAME W/ METAL MESH INSET, SLIDING DOOR SET
 18. MOP SINK
 19. (5) ADJ. WOOD SHELVES ON METAL BRACKETS
 20. HEAT GAS WATER HEATER, PROVIDE SEISMIC STRAPPING PER CODE
 21. KE MACHINE
 22. BUILDING WATER FILTRATION SYSTEM
 23. BAG IN BOX SODA STORAGE
 24. SECURED SODA TANKS
 25. KEG COOLER
 26. GLASS DOOR REFRIGERATOR
 27. FLAT PANEL TV, PROVIDE POWER AND SATELLITE HOOKUP
 28. BUILT-IN DESKS @ 30" HT.
 29. RAISED PLATFORM
 30. RETAIL STOR. CABINETS TO 18" HT.
 31. BUILT-IN SHELVING
 32. 2X8 WALL, CONCEAL BXB POST.
 33. REFRIGERATED BEER AND SODA DELIVERY LINE TO BAR.

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1" ORIGINAL DRAWING SIZE

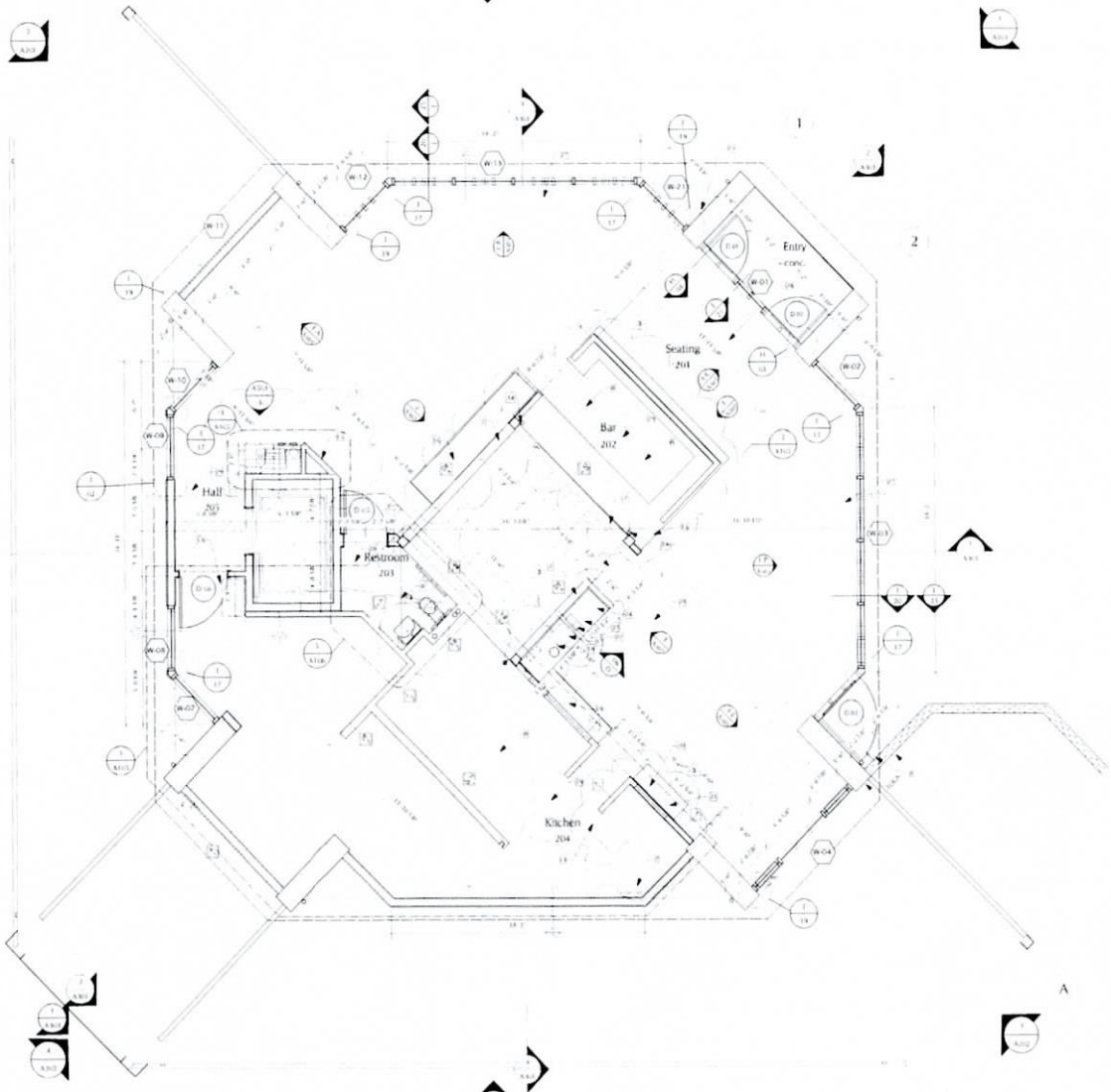
Author	Stastny Brun Architects, Inc.
Checker	Stastny Brun Architects, Inc.
Designer	Stastny Brun Architects, Inc.
Estimator	Stastny Brun Architects, Inc.
Project Manager	Stastny Brun Architects, Inc.
Scale	1/4" = 1'-0"
Sheet No.	A-101
Project No.	2117_10CD
Date	11/10/01
Revision	1
Drawn By	Stastny Brun Architects, Inc.
Checked By	Stastny Brun Architects, Inc.
Project Name	Pacific Dunes Clubhouse
Location	Bandon Dunes Resort

Pacific Dunes Clubhouse
Bandon Dunes Resort

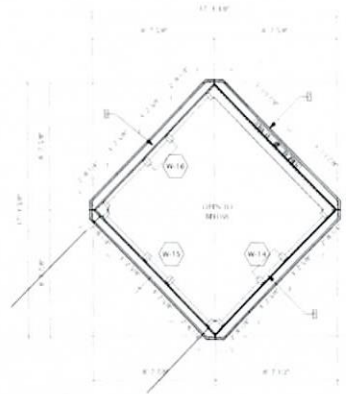
Project Manager
 BA
 Date
 02/05/08
 Scale: 1/4" = 1'-0"
 2117_10
 2117_10CD Main
LOWER FLOOR PLAN

A-101

FDP #15 Exhibit 7



1 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"



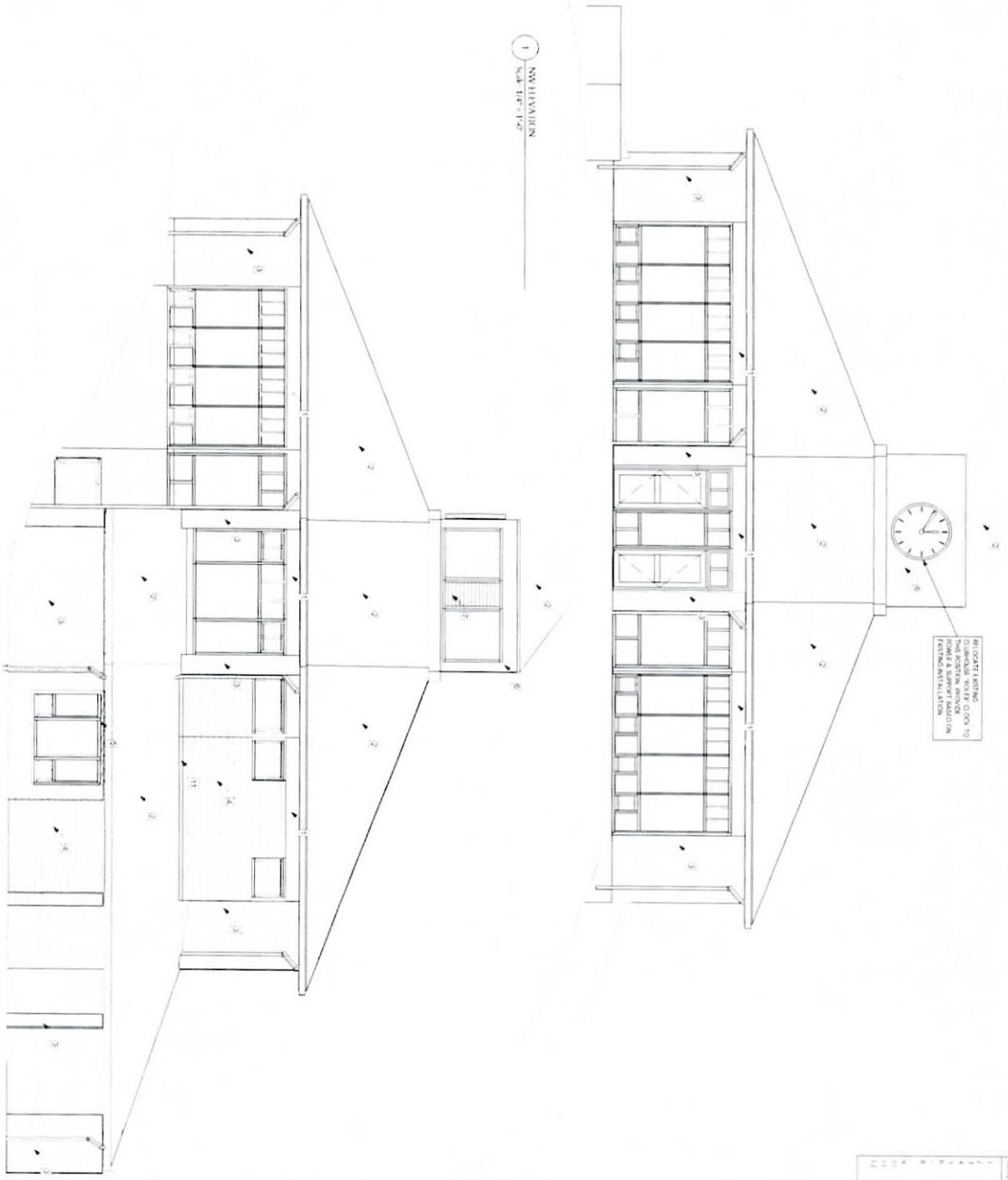
2 LANTERN FLOOR PLAN
Scale: 1/4" = 1'-0"

- NOTES:
1. RECESSED "BOX IT" HOSE BIB
 2. WALL CAP HT @ 54"
 3. NOT USED
 4. NOT USED
 5. NOT USED
 6. 2 X 8 WALL FRAMING
 7. WALL MOUNT FIRE EXTINGUISHERS PER CODE
 8. FLOOR DRAIN, SLOPE FLOOR TO DRAIN
 9. NOT USED
 10. NOT USED
 11. REMOTE MOTORIZED VENTILATION COVER W/ PAINT FINISH TO MATCH ROOFING FINISH
 12. WALL MOUNTED ELECTRIC CLOCK, REUSE EXISTING, PROVIDE POWER AND REQUIRED ANCHORAGE
 13. 30" X 20" METAL ATTIC ACCESS HATCH, FLUSH MOUNT AT CEILING
 14. 3" DIA PPE, NI PIPE USED FOR PLUMBING VENT, SW DECORATIVE, STARTING AT COUNTER HEIGHT (42")
 15. FLAT PANEL TV, PROVIDE FOR CABLE/ SATELLITE/ A/V HOOKUPS AND POWER
 16. REFRIGERATED WINE STORAGE, (3) 24K24 UNITS IN SLIDE IN CABINET, PROVIDE POWER AND VENTILATION
 17. BUS TRAY SHELF
 18. TRASH
 19. SILVER, PAPER, & MISC. STORAGE
 20. DRINKING GLASSES STORAGE
 21. SMALL PLATES STORAGE
 22. P.D.S. CPU
 23. UNDERCOUNTER REFRIGERATOR (15")
 24. SERVER TRAYS AND TRAY STANDS STOR.
 25. POWER AND DATA IN WP RECEPTACLE
 26. NOT USED
 27. CARPET AND PAD, GLUE DOWN COMMERCIAL NYLON
 28. 12 X 12 GAUGED NATURAL SLATE
 29. COMMERCIAL METAL QUARRY TILE WITH LATICRET WATERPROOFING MEMBRANE BELOW.

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PROJECT INFORMATION	
Project Name	Pacific Dunes Clubhouse
Project Location	Bandon Dunes Resort
Project Manager	BA
Designer	DBS
Architect	STASTNY BRUN
AS NOTED	2/17/10
DATE	2/17/10
SCALE	AS NOTED

PROJECT INFORMATION	
Project Manager	BA
Designer	DBS
Architect	STASTNY BRUN
AS NOTED	2/17/10
DATE	2/17/10
SCALE	AS NOTED



NOTES

1. ALL ELEVATION HEIGHTS TO FINISH.
2. FINISHES TO MATCH EXISTING FINISHES.
3. FINISHES TO MATCH EXISTING FINISHES.
4. FINISHES TO MATCH EXISTING FINISHES.
5. FINISHES TO MATCH EXISTING FINISHES.
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11. FINISHES TO MATCH EXISTING FINISHES.
12. FINISHES TO MATCH EXISTING FINISHES.

1 NW ELEVATION
Scale: 1/8" = 1'-0"

2 SW ELEVATION
Scale: 1/8" = 1'-0"



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No.	Date	Appr.	Revision/Notes
1	10/15/07		Final Review Update
2	10/15/07		General Revisions
3	10/15/07		Revisions

No.	Date	Appr.	Revision/Notes
1	10/15/07		Revisions
2	10/15/07		Revisions
3	10/15/07		Revisions

Pacific Dunes Clubhouse
Banden Dunes Resort

Project Manager: KA
 Designer: DDB
 Designer: DDB
 Designer: DDB
 Designer: DDB
 Designer: DDB

ELEVATIONS

A-201

FDP #15 Exhibit 7



- NOTES
1. SEE FLOOR PLAN FOR FINISH
 2. MIL SHEET METAL ROOFING
 3. CONCRETE
 4. 1 1/2\"/>
 - 5. MIL SHEET METAL ROOFING
 - 6. MIL SHEET METAL ROOFING
 - 7. 1/2\"/>
 - 8. SINGLE FLY WINDOW KICKING AT
 - 9. SHEET WALL
 - 10. 1/2\"/>
 - 11. 1/2\"/>
 - 12. CLEAR, MAINTENANCE FREE GLASS

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ORIGINAL DRAWING 010

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/14/07	Final Service Update	DJS	
2	10/26/07	Design Revisions	DJS	
3	12/20/08	Revisions	DJS	

**Pacific Dunes
 Clubhouse
 Bandon Dunes Resort**

Project Manager
 SA
 DJS
 030908
 1/4" = 1'-0"
 2117.11
 2117.10 CD Plans 01 Rev

ELEVATIONS

A-202