



# Coos County Land Use Permit Application

SUBMIT TO COOS COUNTY PLANNING DEPT. AT 60 E. SECOND STREET OR MAIL  
TO: COOS COUNTY PLANNING 250 N. BAXTER, COQUILLE OR 97423. EMAIL  
PLANNING@CO.COOS.OR.US PHONE: 541-396-7770

## "WINDFALL ROAD SUBDIVISION"

FILE NUMBER:

Date Received: 3/29/22 Receipt #: 231853 Received by: MB

This application shall be filled out electronically. If you need assistance please contact staff.

If the fee is not included the application will not be processed.

(If payment is received on line a file number is required prior to submittal)

### LAND INFORMATION

A. Land Owner(s) WILLIAM MA, TRUSTEE & ARTHUR NESS

Mailing address: 842 PERU AVE, SAN FRANCISCO, CA. 94112

Phone: 650-373-2261

Email: wma57@yahoo.com

Township: 25S Range: 13W Section: 30 1/4 Section: C 1/16 Section: C Tax lots: 1900 & 2000

Select Select Select Select Select

Tax Account Number(s): 382900

Zone: Select Zone Controlled Development (CD) (5)

Tax Account Number(s) 383000

Controlled Development (CD) (5)

B. Applicant(s) WILLIAM MA

Mailing address: 842 PERU AVE., SANFRANCISCO, CA. 94112

Phone: 650-373-2261

C. Consultant or Agent: DOUGLAS C. MCMAHAN/STUNTZNER ENGINEERING & FORESTRY, LLC

Mailing Address P.O. BOX 118, COOS BAY, OR. 97420

Phone #: 541-267-2872

Email: dmcmahan@stuntzner.com

#### Type of Application Requested

- Comp Plan Amendment
- Text Amendment
- Map - Rezone

- Administrative Conditional Use Review - ACU
- Hearings Body Conditional Use Review - HBCU
- Variance - V

- Land Division - P, SUB or PUD
- Family/Medical Hardship Dwelling
- Home Occupation/Cottage Industry

#### Special Districts and Services

Water Service Type: Coos Bay - North Bend Water Board

Sewage Disposal Type: Charleston Sanitation

School District: North Bend

Fire District: Charleston RFPD

Please include the supplement application with request. If you need assistance with the application or supplemental application please contact staff. Staff is not able to provide legal advice. If you need help with findings please contact a land use attorney or contulant.


Any property information may be obtained from a tax statement or can be found on the County Assessor's webpage at the following links: [Map Information](#) Or [Account Information](#)

D. **ATTACHED WRITTEN STATEMENT.** With all land use applications, the "burden of proof" is on the applicant. It is important that you provide information that clearly describes the nature of the request and indicates how the proposal complies with all of the applicable criteria within the Coos County Zoning and Land Development Ordinance (CCZLDO). You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete. A planner will explain which sections of the Ordinance pertain to your specific request. The information described below is required at the time you submit your application. The processing of your application does not begin until the application is determined to be complete. An incomplete application will postpone the decision, or may result in denial of the request. Please mark the items below to ensure your submittal is complete.

Application Check List: Please make off all steps as you complete them.

- I.  A written statement of intent, attached to this application, with necessary supporting evidence which fully and factually describes the following:
1.  A complete explanation of how the request complies with the applicable provisions and criteria in the Zoning Ordinance. A planner will explain which sections of the Ordinance pertain to your specific request. You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete.
  2.  A description of the property in question, including, but not limited to the following: size, vegetation, crops grown, access, existing buildings, topography, etc.
  3.  A complete description of the request, including any new structures proposed.
  4.  If applicable, documentation from sewer and water district showing availability for connection.
- II.  A plot plan (map) of the property. Please indicate the following on your plot plan:
1.  Location of all existing and proposed buildings and structures
  2.  Existing County Road, public right-of-way or other means of legal access
  3.  Location of any existing septic systems and designated repair areas
  4.  Limits of 100-year floodplain elevation (if applicable)
  5.  Vegetation on the property
  6.  Location of any outstanding physical features
  7.  Location and description (paved, gravel, etc.) of vehicular access to the dwelling location
- III.  A copy of the current deed, including the legal description, of the subject property. Copies may be obtained at the Coos County Clerk's Office.

0010055212421



I certify that this application and its related documents are accurate to the best of my knowledge. I am aware that there is an appeal period following the date of the Planning Director's decision on this land use action. I understand that the signature on this application authorizes representatives of the Coos County Planning Department to enter upon the subject property to gather information pertinent to this request. If the application is signed by an agent, the owner's written authorization must be attached.

If this application is refereed directly to a hearings officer or hearings body I understand that I am obligated to pay the additional fees incurred as part of the conditions of approval. I understand that I/we are not acting on the county's behalf and any fee that is a result of complying with any conditions of approval is the applicants/property owner responsibility. I understand that conditions of approval are required to be complied with at all time and an violation of such conditions may result in a revocation of this permit. Signatures required below for application processing.

→ X William H. [Signature] X Douglas C. McNeil

**STATEMENT OF INTENT**

**WRITTEN STATEMENT OF INTENT FOR SUBDIVISION OF TAX LOTS 1900 AND 2000 (T35S, R13W, SECTION 30CC) COOS COUNTY, OREGON, PROPERTY ADDRESS'S ARE 92184 & 92190 CAPE ARAGO HIGHWAY, COOS BAY, OREGON 97420.**

**TO BE SUBMITTED AS PART COOS COUNTY LAND USE PERMIT APPLICATION.**

**March 4, 2022**

**THE INTENT OF THIS PROPOSED PROJECT IS TO ACCOMPLISH A LAND DIVISION THAT WILL SUBDIVIDE THE SUBJECT TAX LOTS INTO TEN (10) COMPLIANT LOTS, WITHIN THE CD-5 (CONTROLLED DEVELOPMENT) ZONING REQUIREMENTS. PROPOSED LOTS 1-3 AND LOTS 6-9 ALL HAVE EXISTING DWELLINGS AND LOTS 4, 5 AND 10 ARE VACANT FOR FUTURE BUILDING PROJECTS. LOTS 1 AND LOT 2 HAVE EXISTING DRIVEWAYS FROM CAPE ARAGO HIGHWAY, AND LOTS 3-10 WILL ACCESS FROM WINDFALL**

**ROAD. WINDFALL IS A PRIVATE ROAD WHICH BEGINS ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GRINNELL AVENUE A PUBLIC STREET, AS AN EASMENT TO THE SOUTHERLY BOUNDARY OF TAX LOT 3300 PER DOCUMENT NO. 2014-03699, COOS COUNTY DEED RECORDS. ARTHUR NESS, A PARTNER IN THIS PROPOSED LAND DIVISION, OWNS TAX LOT 3200, AN AREA WHERE ADITONAL EASEMENTS MAY BE NEEDED FOR WINDFALL ROAD AND UTILITIES. THE PORTION OF WINDFALL ROAD TO BE DEVELOPED WITHIN THE BOUNDARY OF THE LAND DIVISION, WILL BE A PRIVATE ROAD OWNED AND MAINTAINED BY THE OWNERS OF PROPOSED LOTS 3-10. AN ACCESS EASEMENT AND ROAD MAINTENANCE AGREEMENT WILL BE PREPARED FOR OWNERS OF LOTS 3-10.**

**PER COOS COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE!**

**4(3)(a)(1) CD-5 MINIMUM LOT SIZES WITH BOTH PUBLIC WATER AND PUBLIC SEWER CANNOT BE LESS THAN 5,000 SQUARE FEET. COMPLIANCE-ALL PROPOSED LOTS HAVE OR WILL HAVE PUBLIC WATER AND PUBLIC SEWER, PROVIDED BY COOS BAY-NORTH BEND WATER BOARD AND CHARLESTON SANITATION.**

**4(3)(b)(1) DWELLING DENSITY SHALL BE NO MORE THAN ONE DWELLING PER LAWFULLY CREATED PARCEL. COMPLIANCE-ALL PARCELS WILL HAVE NO MORE THAN ONE (1) DWELLING.**

**4(3)(c) SET BACKS:**

**(1) FRONT SETBACK: 20 FEET**

**(2) SIDE AND REAR SET-BACK: 5 FEET, CORNER LOT 15 FEET**

**COMPLIANCE-WINDFALL ROAD IS DESIGNED TO MAKE THE REQUIRED SETBACKS WORK ALONG THE FRONT OF LOTS WITH EXISTING DWELLINGS.**

**(d) BUILDING HEIGHTS – MAXIMUM BUILDING HEIGHT IS 35 FEET. COMPLIANCE-ALL EXISTING AND FUTURE DWELLINGS WILL BE LESS THAN 35 FEET IN HEIGHT.**

**MA/NESS PROPOSED LAND DIVISION**

**March 4, 2022**



**Coos County Planning Department**  
 Coos County Courthouse Annex, Coquille, Oregon 97423  
 Mailing Address: Planning Department, Coos County Courthouse, Coquille, Oregon 97423  
 (541) 396-7770  
 FAX (541) 396-1022 / TDD (800) 735-2900

Jill Rolfe Planning Director

**CONSENT**

On this 9th day of March, 2022,

I, William Ma TRUSTEE  
 (Print Owners Name as on Deed)

as owner/owners of the property described as Township 25S, Range 13W,

Section 30CC, Tax Lot 2900 & 2000, Deed Reference 2014-03696

hereby grant permission to DOUGLAS C. McMAHON/STUNTZNER ENG. so that a(n)  
 (Print Name)

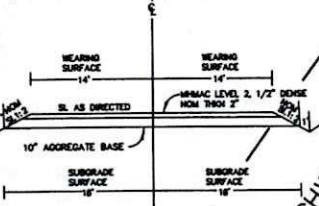
LAND USE PERMIT APPLICATION application can be submitted to the Coos  
 (Print Application Type) (SUEO)

County Planning Department.

Owners Signature/s X William Ma

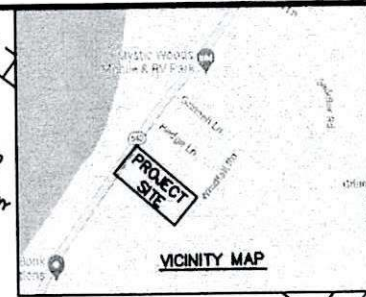
\_\_\_\_\_  
 \_\_\_\_\_

URBAN LOCAL RESIDENTIAL SERVING FOUR OR MORE DWELLINGS  
(WITH PROPOSED ROADSIDE DITCH)



TENTATIVE PLAT OF WINDFALL ROAD SUBDIVISION

LOCATED IN:  
THE SW 1/4 OF THE SW 1/4 OF  
SECTION 30, T25S, R13W, WM,  
COOS COUNTY, OREGON  
(TAX LOTS 1900 & 2000, 25 13 30CC)



TAX LOT 1900  
COOS BAY, OR. 97420

TAX LOTS 1600 & 1700  
PARTFIELD, ROGER D.  
8227 CAPE ARAGO HWY  
COOS BAY, OR. 97420

TAX LOT 1800  
PARTFIELD, ROGER D.  
8227 CAPE ARAGO HWY  
COOS BAY, OR. 97420

TAX LOT 1900  
WALLACE, JAMES R.  
82170 CAPE ARAGO HWY  
COOS BAY, OR. 97420

TAX LOT 2100  
WALLACE, JAMES R.  
82170 CAPE ARAGO HWY  
COOS BAY, OR. 97420

TAX LOT 2200  
WAYMONT, MELANIE  
82158 CAPE ARAGO HWY  
COOS BAY, OR. 97420

TAX LOT 2400  
WALLACE, JAMES R.  
82170 CAPE ARAGO HWY  
COOS BAY, OR. 97420

LEGEND:

- COOR = COOS COUNTY DEED RECORDS
- SF = SQUARE FEET (AREA)
- CS = COUNTY SURVEY FILE NO.
- ⊙ = FOUND SURVEY MONUMENT
- = PROPOSED SURVEY MONUMENT
- = CALCULATED POINT NOTHING FOUND OR SET
- INST. = INSTRUMENT

CURVE TABLE:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.35	100.00	27°07'36"	N68°44'36" W	46.80
C2	43.02	100.00	24°38'52"	S67°58'58" E	42.69
C3	14.25	20.00	40°48'35"	S36°42'54" E	13.95
C4	18.55	20.00	53°07'48"	N10°15'18" E	17.89
C5	12.28	20.00	35°10'57"	S72°27'31" E	12.09
C6	24.62	20.00	70°31'44"	S89°04'36" W	23.09
C7	12.95	40.00	18°32'42"	S64°55'53" E	12.89
C8	30.70	40.00	43°58'15"	S83°48'38" W	29.95
C9	82.02	40.00	111°29'03"	N03°04'59" E	86.39
C10	49.24	40.00	70°31'44"	S89°04'36" W	46.19
C11	14.08	120.00	6°43'22"	S59°01'13" E	14.07
C12	37.54	120.00	17°55'30"	S71°20'39" E	37.39
C13	63.28	120.00	25°28'22"	N67°35'13" W	62.84
C14	32.38	80.00	23°11'13"	S68°42'47" E	32.15
C15	34.41	80.00	24°38'52"	N67°58'58" W	34.15

NOTES:

- #1). PER INSTRUMENT NO. 81-4-3849 COOS COUNTY DEED RECORDS.
- #2). STREET IS TO DRAIN TO WEST TO CATCH BASIN THEN WEST IN PIPE TO ROADSIDE DITCH ON EAST SIDE OF CAPE ARAGO STATE HIGHWAY. HOUSE DRAINS TO CONNECT TO GUTTER AND TO DRAIN SYSTEM.



FOUND 5/8" IRON ROD  
PER CS 15A79

FOUND 5/8" IRON ROD  
PER CS 15A79

TAX LOT 3100  
WALLACE, JAMES R.  
82170 CAPE ARAGO HWY  
COOS BAY, OR. 97420

DRAFT

RENEWS 12/31/2022

**Stutzman**  
Engineering & Planning, Inc.

798 S. 4TH ST.  
P.O. BOX 193  
COOS BAY, OREGON 97420  
www.stutzman.com

PHONE: (541) 867-8822  
FAX: (541) 867-8822  
www.stutzman.com

Engineering - Land Surveying - Planning - Land Planning - Water Rights

FOR THESE SERVICES, PREPARED BY WILLIAM MA & ARTHUR NESS  
WILLIAM MA & ARTHUR NESS  
842 PERU AVENUE  
SAN FRANCISCO, CA 94112

ADDRESS OF DRIVEWAY #1 CLOSEST TO YOUR NEW DRIVEWAY: \_\_\_\_\_

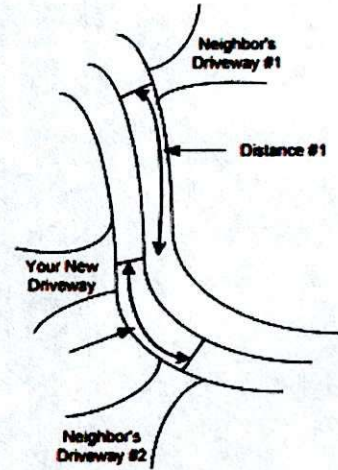
DISTANCE FROM DRIVEWAY #1 TO YOUR NEW DRIVEWAY: \_\_\_\_\_

Is this driveway on the same side of the road as your Driveway: Select

ADDRESS OF DRIVEWAY #2 CLOSEST TO YOUR NEW DRIVEWAY: \_\_\_\_\_

DISTANCE FROM DRIVEWAY #2 TO YOUR NEW DRIVEWAY: \_\_\_\_\_

Is this driveway on the same side of the road as your Driveway: Select



The distance information is important from your new driveway to the closest driveways on either side of you (doesn't matter which side of the road) and what the addresses are to those two driveways. This information is important to include in the formula used to calculate the correct address.

Staff from the County Road Department will place the stake and once the driveway stake has been placed, it must not be moved. If your stake is removed or damaged you may purchase replacements.

Additional Notes or directions:

This application is not required.

**ACCESS INFORMATION**

The Coos County Road Department will be reviewing your proposal for safe access, driveway, road, and parking standards. There is a fee for this service. If you have questions about these services please contact the Road Department at 541-396-7660.

Property Address: 92184 & 92190 CAPE ARAGO HIGHWAY

Type of Access: Private Easement - Provide Easement  Name of Access: WINDFALL ROAD

Is this property in the Urban Growth Boundary? No

Is a new road created as part of this request? Yes

Required parking spaces are based on the use of the property. If this is for a residential use two spaces are required. Any other use will require a separate parking plan submitted that is required to have the following items:

- Current utilities and proposed utilities;
- Roadmaster may require drawings and specs from the Oregon Standards Specification Manual (OSSC) (current edition).
- The location and design of bicycle and pedestrian facilities shall be indicated on the site plan if this is a parking plan;
- Location of existing and proposed access point(s) on both sides of the road where applicable;
- Pedestrian access and circulation will be required if applicable. Internal pedestrian circulation shall be provided in new commercial, office, and multi-family residential developments through the clustering of buildings, construction of walkways, landscaping, accessways, or similar techniques;
- All plans (industrial and commercial) shall clearly show how the internal pedestrian and bicycle facilities of the site connect with external existing or planned facilities or systems;
- Distances to neighboring constructed access points, median openings (where applicable), traffic signals (where applicable), intersections, and other transportation features on both sides of the property;
- Number and direction of lanes to be constructed on the road plus striping plans;
- All planned transportation features (such as sidewalks, bikeways, auxiliary lanes, signals, etc.); and
- Parking and internal circulation plans including walkways and bikeways, in UGB's and UUC's.

Additional requirements that may apply depending on size of proposed development.

- a. Traffic Study completed by a registered traffic engineer.
- b. Access Analysis completed by a registered traffic engineer
- c. Sight Distance Certification from a registered traffic engineer.

Regulations regarding roads, driveways, access and parking standards can be found in Coos County Zoning and Land Development Ordinance (CCZLDO) Article 7.

By signing the application I am authorizing Coos County Roadmaster or designee to enter the property to determine compliance with Access, Parking, driveway and Road Standards. Inspections should be made by calling the Road Department at 541-396-7660

**Coos County Road Department Use Only**

Roadmaster or designee: \_\_\_\_\_

Driveway     Parking     Access     Bonded    Date: \_\_\_\_\_    Receipt # \_\_\_\_\_

File Number: DR-21-

**SANITATION INFORMATION**

If this is a request for a recreational, commercial, industrial, vacation rental, manufactured home park, mass or small gathering Coos Health and Wellness, Environmental Health Staff will be reviewing the proposal to ensure the use meets environmental health standards for sanitation and water requirements to serve the facility. If the proposal indicates that you are using a community water system a review may be required. A fee is charged for this service and shall be submitted with the application \$83.00. If you have questions about regulations regarding environmental health services please call 541-266-6720. This form is required to be signed off for any type of subdivision, recreational, commercial, industrial, vacation rental, manufactured home park, mass or small gathering.

Water Service Type: Coos Bay-North Bend Water Bo  Sewage Disposal Type: Charleston Sanitation

Please check  if this request is for industrial, commercial, recreational or home base business use and complete the following questions:

SEE NOTE FROM CHARLESTON  
SANITATION ENGINEERS

- How many employees/vendors/patrons, total, will be on site?
- Will food be offered as part of the an on-site business?
- Will overnight accommodations be offered as part of an on-site business?
- What will be the hours of operation of the business?

Please check  if the request is for a land division.

**Coos County Environmental Health Use Only:**

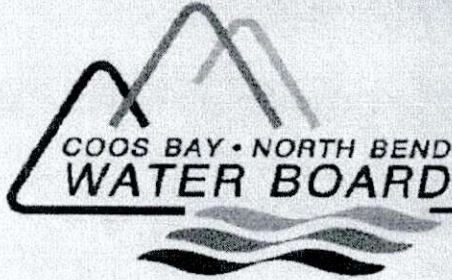
Staff Reviewing Application: \_\_\_\_\_

Staff Signature: \_\_\_\_\_

- This application is found to be in compliance and will require no additional inspections
- This application is found to be in compliance but will require future inspections
- This application will require inspection prior to determining initial compliance. The applicant shall contact Coos Health and Wellness, Environmental Heath Division to make an appointment.

Additional Comments:





2305 Ocean Boulevard  
P. O. Box 539, Coos Bay, Oregon 97420-0108  
Telephone: (541)267-3128 Fax: (541)269-5370

Ivan Thomas, General Manager

March 28, 2022

Re: Ma Subdivision – T25S, R13W, Section 30CC, Tax Lots 1900 and 2000.

To whom it may concern:

The properties have an existing water main running through them on an easement. No additional water main will need to be installed to serve the proposed Ma Subdivision.

According to our records the properties currently have five active water services. The owner will need to install an additional five water services for water to be available to each individual lot in the proposed 10 lot subdivision.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Whitty". The signature is written in a cursive style and is positioned above the printed name.

Matt Whitty, PE, PLS  
Engineering Manager

## Doug McMahan

---

**From:** S Major <smajor@dyerpart.com>  
**Sent:** Monday, March 07, 2022 10:26 AM  
**To:** Doug McMahan  
**Cc:** Charleston Sanitary  
**Subject:** Charleston Sanitary District - MA Subdivision

Doug,

This is Steve Major from The Dyer Partnership, aka District Engineer. The District has forwarded a copy of the Tentative Plat for the MA Subdivision. After further review it appears the existing sewer line is a private system. The District knows the sewer line is there but has no record of how and when it was installed. In addition they currently do not maintain this line. Can you or your client provide any information on this system?

Thanks  
Steve



After Recording Return To:

Ma Living Trust and Arthur Ness  
842 Peru Ave  
San Francisco, CA 94112



Terri L. Turi, Coos County Clerk

4010784  
AFTER RECORDING  
RETURN TO

### EASEMENT AGREEMENT

Ticor Title Company  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233

THIS EASEMENT AGREEMENT is made and entered into this 16<sup>th</sup> day of May, 2014, by and between LaVERNE N. CONN and HARUKO CONN, hereinafter referred to as "Grantors" and WILLIAM MA as Trustee of the Ma Living Trust dated May 20, 2011, and ARTHUR NESS, hereinafter referred to as "Grantees". The parties hereto agree as follows:

1. For good and valuable consideration, the receipt of which is hereby acknowledged, Grantors do hereby grant and give to Grantees a perpetual, appurtenant, nonexclusive, easement and right-of-way for purposes of ingress and egress over that certain existing roadway known as Windfall Road from the intersection of said roadway with Grinnell Avenue, a public right-of-way, to the boundary line of Grantees' real property described in Exhibit "A" hereto. Said easement is located on the real property of Grantors described in Exhibit "B" hereto and consists of a strip of land 30 feet in width the centerline of which is the centerline of the presently existing roadway known as Windfall Road.

2. The parties hereto agree to share the cost of repairs and maintenance to the roadway over the above described easement in proportion to their respective use of said roadway. The parties agree that prior to any such repair or maintenance the parties shall consult with one another to determine what repair or maintenance is required, who shall perform the repair or maintenance, and the allocation of costs therefore between the parties hereto. In the event said roadway requires an emergency repair the parties agree that one of the parties hereto may authorize such repair without the prior approval of the other party hereto provided the cost of such repair is \$500.00 or less. For purposes of the preceding sentence an emergency repair shall be deemed to mean a repair necessitated by reason of a sudden occurrence which obstructs the easement to such an extent that the same is rendered unusable for ingress and egress.

3. The easement granted by this instrument shall be appurtenant to the real property described in Exhibit A hereto.

IN WITNESS WHEREOF the parties hereto have made and executed this Easement Agreement on the day and year first written above.

GRANTORS:

GRANTEES:

LaVerne N. Conn  
LaVerne N. Conn

William Ma as Trustee of the Ma Living Trust dated May 20, 2011

Haruko Conn  
Haruko Conn

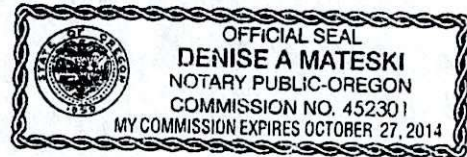
Arthur Ness

STATE OF Oregon )  
County of Covs ) ss.  
May 16, 2014

Personally appeared before me the above named LaVerne N. Conn who acknowledged the foregoing instrument as his voluntary act and deed.

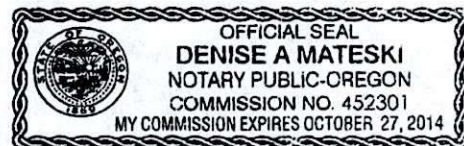
Denise A Mateski  
Notary Public - State of Oregon

STATE OF Oregon )  
County of Covs ) ss.  
May 16, 2014



Personally appeared before me the above named Haruko Conn who acknowledged the foregoing instrument as her voluntary act and deed.

Denise A Mateski  
Notary Public - State of Oregon



GRANTORS:

\_\_\_\_\_  
LaVerne N. Conn

\_\_\_\_\_  
Haruko Conn

GRANTEES:

William Ma *Trustee*  
\_\_\_\_\_  
William Ma as Trustee of the Ma  
Living Trust dated May 20, 2011

Arthur Ness  
\_\_\_\_\_  
Arthur Ness

STATE OF \_\_\_\_\_ )  
  ) ss.  
County of \_\_\_\_\_ )  
\_\_\_\_\_, 2014

Personally appeared before me the above named LaVerne N. Conn who  
acknowledged the foregoing instrument as his voluntary act and deed.

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
  ) ss.  
County of \_\_\_\_\_ )  
\_\_\_\_\_, 2014

Personally appeared before me the above named Haruko Conn who  
acknowledged the foregoing instrument as her voluntary act and deed.

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) ss.  
County of \_\_\_\_\_ )

\_\_\_\_\_, 2014

Personally appeared before me the above named William Ma who being first duly sworn did say: That he is the Trustee of the Ma Living Trust dated May 20, 2011; that he is authorized to execute the foregoing instrument as Trustee of said Trust; and, he acknowledged the foregoing instrument as his voluntary act and deed as Trustee of said Trust.

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) ss.  
County of \_\_\_\_\_ )

\_\_\_\_\_, 2014

Personally appeared before me the above named Arthur Ness who acknowledged the foregoing instrument as his voluntary act and deed.

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

*See Attached  
acknowledgment*

Unofficial  
Copy

ACKNOWLEDGMENT

State of California

County of Alameda } ss.

On May 16, 2014 before me, Sandy DJ Laffins, Notary Public,

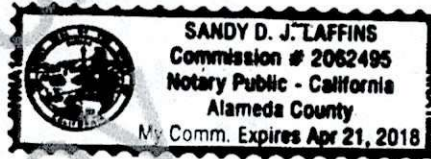
personally appeared William MA And Arthur Ness

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

*Sandy D. Laffins*  
Signature



OPTIONAL INFORMATION

Date of Document May 16, 2014  
Type or Title of Document Escrow Agreement  
Number of Pages In Document 3  
Document in a Foreign Language \_\_\_\_\_

Thumbprint of Signer



Type of Satisfactory Evidence:  
\_\_\_\_ Personally Known with Paper Identification  
\_\_\_\_ Paper Identification  
\_\_\_\_ Credible Witness(es)

Capacity of Signer:  
\_\_\_\_ Trustee  
\_\_\_\_ Power of Attorney  
\_\_\_\_ CEO / CFO / COO  
\_\_\_\_ President / Vice-President / Secretary / Treasurer  
\_\_\_\_ Other: \_\_\_\_\_

Check here if no thumbprint or fingerprint is available.

Other Information: \_\_\_\_\_

## EXHIBIT "A"

### PARCEL I:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South  $39^{\circ} 55' 1/3''$  West 943.65 feet; thence South  $36^{\circ} 57'$  West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South  $53^{\circ} 03'$  East 480.0 feet; thence North  $36^{\circ} 57'$  East 100.0 feet; thence North  $53^{\circ} 03'$  West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30.

### PARCEL II:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, from which the Southwest corner of the said Section 30 bears South  $39^{\circ} 55' 1/3''$  West a distance of 943.65 feet; and run thence South  $53^{\circ} 03'$  East for a distance of 480.0 feet; thence North  $36^{\circ} 57'$  East for a distance of 100.0 feet; thence North  $53^{\circ} 03'$  West for a distance of 480.0 feet to a point on the Easterly boundary of the above mentioned State Highway; thence South  $36^{\circ} 57'$  West along the Easterly boundary of the State Highway for a distance of 100.0 feet to the place of beginning, Coos County, Oregon.



**EXHIBIT "B"**

**PARCEL I:**

Beginning at a point in Lot 3, Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 60° 30-1/3' West 1573.53 feet; thence North 53° 03' West 100 feet; thence South 36° 57' West 400 feet; thence South 53° 03' East 200 feet; thence North 36° 57' East 400 feet; thence North 53° 03' West 100 feet to the place of beginning.

**PARCEL II:**

That portion of Parcel 1 of Partition Plat 1995-37 filed and recorded September 28, 1995, CAB C-139 bearing instrument no. 95-09-0998, real property records of Coos County, Oregon, which lies North of an East-West line which line is located 30 feet South of the Northern most point of said Parcel 1 of Partition Plat 1995-37.

AFTER RECORDING  
RETURN TO  
Ticor Title Company  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233

COOS COUNTY, OREGON 2014-03696  
\$51.00 05/19/2014 02:37:49 PM  
Pg=2

GRANTOR:  
LaVerne N. Conn and Haruko Conn  
GRANTEE:  
Ma Living Trust and Arthur Ness  
SEND TAX STATEMENTS TO and  
AFTER RECORDING RETURN TO:  
Ma Living Trust  
842 Peru Ave  
San Francisco, CA 94112  
Escrow No: 360614010642-TT0006



Terril L. Turl, Coos County Clerk

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**STATUTORY WARRANTY DEED**

LaVerne N. Conn and Haruko Conn, Grantor, conveys and warrants to William Ma, Trustee of the Ma Living Trust dated May 20, 2011, as to an undivided 50% interest and Arthur Ness, as to an undivided 50% interest, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 39 ° 55 1/3' West 943.65 feet; thence South 36 ° 57' West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South 53 ° 03' East 480.0 feet; thence North 36 ° 57' East 100.0 feet; thence North 53 ° 03' West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30.

Together with a permanent easement across 25-13-30CC tax lot 3300, identified as "Windfall Road", to the grantees thereby providing free and unhindered access to tax lots 1900 and 2000 of 25-13-30CC. The grantors and grantees hereby agree to share in the maintenance costs of Windfall Road. Such maintenance costs shall be mutually agreed prior to any maintenance being done. In the event of a needed "emergency repair", either party may expend up to \$500.00 without mutual approval.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$95,000.00. (See ORS 93.030)

Subject to and excepting: Taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: 5-15-14

LaVerne N Conn  
LaVerne N. Conn

Haruko Conn  
Haruko Conn

State of OREGON

COUNTY of \_\_\_\_\_

360614010642-TT0006  
Deed (Warranty-Statutory)

State of OREGON

COUNTY of Was

This instrument was acknowledged before me on May 15, 2014

by LaVerne N. Conn and Haruko Conn

[Signature], Notary Public - State of Oregon  
My commission expires: 10-27-14



Unofficial  
Copy

RECORDING REQUESTED BY:



300 W Anderson Avenue  
Coos Bay, OR 97420

AFTER RECORDING RETURN TO:

Arthur Ness  
792 Fundy Court  
Tracy, CA 95377

SEND TAX STATEMENTS TO:

Arthur Ness  
792 Fundy Court  
Tracy, CA 95377

mh83412, 383900, 385500, 385600, 25-13-31BATL#600,  
25-13-30CCTL#3200, 25-13-31BATL#600 and 25-13-31BBTL#200  
91439 Tarheel Rd., Coos Bay, OR 97420

COOS COUNTY, OREGON **2016-008929**

**\$51.00** 10/07/2016 11:48:59 AM

Terri L.Turi, Coos County Clerk

Pgs=2

**AFTER RECORDING  
RETURN TO  
Ticor Title Company  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

**Laverne N. Conn and Haruko Conn, as tenants by the entirety**, Grantor, conveys and warrants to **Arthur Ness**, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

Parcel 1, of Final Partition Plat 1995 #37, filed and recorded September 28, 1995, CAB C-137, bearing Microfilm Reel No. 95-09-0998, Records of Coos County, Oregon.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS EIGHTY-EIGHT THOUSAND EIGHT HUNDRED EIGHTY-EIGHT AND NO/100 DOLLARS **(\$88,888.00)**. (See ORS 93.030).

**Subject to:**

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2016-2017.

Tax Identification No.: 383900, 385500 and 385600

2. The Land does not include any improvement(s) located on the Land which is described or defined as a mobile home (manufactured housing unit) under the provisions of State Law and is subject to registration.

Affects: Manufactured Home Coos County Assessors account 83412, ownership shown as Laverne Conn and Haruko Conn. Manufactured Home is no longer being assessed by the Coos County Assessors office for tax purposes.

3. Rights of the public to any portion of the Land lying within the area commonly known as public roads, streets and highways.

4. Minor Partition, including the terms and provisions thereof,

Recording Date: August 14, 1989  
Recording No.: 89-08-1400

5. Deed Restriction, including the terms and provisions thereof,

Recording Date: June 6, 1990  
Recording No.: 90-06-0386

6. Final land Partition Plat 1995 #37, CAB C-137, including the terms and provisions thereof,

Recording Date: September 28, 1995  
Recording No.: 95-09-0998

7. Agreement Easement Agreement, including the terms and provisions thereof,

Executed by: LaVerne N. Conn and Haruko Conn and William Ma as Trustee of the Ma Living Trust  
dated May 20, 2011 and Arthur Ness  
Recording Date: May 19, 2014  
Recording No.: 2014-3699

**BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN**

**STATUTORY WARRANTY DEED**  
(continued)

**VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.**

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: Oct 6 2016

\* Laverne N Conn  
Laverne N Conn

\* Haruko Conn  
Haruko Conn

State of Oregon  
County of COOS

This instrument was acknowledged before me on 10-6-2016 by Laverne N Conn and Haruko Conn.

Marsha Jean DeCaires  
Notary Public - State of Oregon

My Commission Expires: 3-6-18



AFTER RECORDING  
RETURN TO  
Ticor Title Company  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233

COOS COUNTY, OREGON

2015-00384

\$56.00

01/15/2015 01:43:01 PM

Page=3



Terril L.Turl, Coos County Clerk

RECORDING REQUESTED BY:

GRANTOR:  
Dixie R. Bauer, and Michael Sean Bauer and  
Marion Ruth Bauer  
64208 Rail Rd  
Coos Bay, OR 97420

GRANTEE:  
Michael D. Johnson and Robyn M. Johnson  
2010 Lindberg  
Coos Bay, OR 97420

SEND TAX STATEMENTS TO:  
Michael D. Johnson and Robyn M. Johnson  
64208 Rail Rd  
Coos Bay, OR 97420

AFTER RECORDING RETURN TO:  
Michael D. Johnson and Robyn M. Johnson  
64208 Rail Rd  
Coos Bay, OR 97420

Escrow No: 360614011854-TTCOO07

383800 C 927  
383800 C 927  
64208 Rail Rd  
Coos Bay, OR 97420

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

Dixie R. Bauer, and Michael Sean Bauer and Marion Ruth Bauer, Grantor, conveys and warrants to

Michael D. Johnson and Robyn M. Johnson, as tenants by the entirety, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

SEE LEGAL DESCRIPTION ATTACHED HERETO

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$325,000.00. (See ORS 93.030)

Subject to and excepting:

Taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.

**BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING**

360614011854-TTCOO07  
Deed(Warranty-Statutory)

TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: January 14, 2015

Dixie R. Bauer  
Dixie R. Bauer  
Michael Sean Bauer  
Michael Sean Bauer  
Marion Ruth Bauer  
Marion Ruth Bauer

State of OREGON  
COUNTY of COOS

This instrument was acknowledged before me on January 14, 2015  
by Dixie R. Bauer.

Lisa Summa  
My commission expires: 2-2-2015  
Notary Public - State of Oregon



State of OREGON  
COUNTY of COOS

This instrument was acknowledged before me on January 14, 2015  
by Michael Sean Bauer and Marion Ruth Bauer.

Lisa Summa  
My commission expires: 2-2-2015  
Notary Public - State of Oregon



**LEGAL DESCRIPTION**

**PARCEL 1:**

Lot 21, Barview Acre Tracts: Beginning at a point on the Southerly boundary of Section 30, Township 25 South, Range 13 West of the Willamette Meridian, from which point the iron pipe at the Southwest corner of said Section 30 bears South 87° 02 1/2' West a distance of 689.54 feet; running thence North 87° 02 1/2' East along said South boundary of Section 30, for a distance of 300.30 feet; thence North 0° 06' East for a distance of 384.08 feet; thence South 36° 57' West for a distance of 500.0 feet to the point of beginning, and being a portion of Lot 4, Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon.

EXCEPTING THEREFROM that portion thereof described in instrument recorded May 17, 1988 Microfilm Reel Number 88-5-1032 more particularly described as follows: Beginning at a point on the South boundary of Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the iron pipe at the Southwest corner of said Section 30 bears South 87° 02 1/2' West, a distance of 989.54 feet; thence North 00° 06' East a distance of 384.08 feet to the true point of beginning. Thence South 36° 57' West a distance of 40.00 feet; thence South 53° 03' East a distance of 29.98 feet; thence North 00° 06' East a distance of 49.99 feet to the true point of beginning.

**PARCEL 2:**

TOGETHER WITH an easement for ingress, egress and utilities, created by instrument recorded May 12, 1994 bearing Microfilm Reel Number 94-05-0482, Deed Records of Coos County, Oregon.

Unofficial  
Copy





201 Central Avenue  
(541)269-5127

**OWNERSHIP AND ENCUMBRANCES REPORT WITH GENERAL INDEX LIENS**  
Informational Report of Ownership and Monetary and Non-Monetary Encumbrances

**To ("Customer"):** Stuntzner Engineering and Forestry, LLC  
PO Box 118  
Coos Bay, OR 97420

**Customer Ref.:** \_\_\_\_\_  
**Order No.:** 360621038641  
**Effective Date:** December 20, 2021 at 08:00 AM  
**Charge:** \$600.00

The information contained in this report is furnished by Ticor Title Company of Oregon (the "Company") as a real property information service based on the records and indices maintained by the Company for the county identified below. THIS IS NOT TITLE INSURANCE OR A PRELIMINARY TITLE REPORT FOR, OR COMMITMENT FOR, TITLE INSURANCE. No examination has been made of the title to the herein described property, other than as specifically set forth herein. Liability for any loss arising from errors and/or omissions is limited to the lesser of the charge or the actual loss, and the Company will have no greater liability by reason of this report. THIS REPORT IS SUBJECT TO THE LIMITATIONS OF LIABILITY STATED BELOW, WHICH LIMITATIONS OF LIABILITY ARE A PART OF THIS REPORT.

**THIS REPORT INCLUDES MONETARY AND NON-MONETARY ENCUMBRANCES.**

**Part One - Ownership and Property Description**

**Owner.** The apparent vested owner of property ("the Property") as of the Effective Date is:

William Ma, Trustee of the Ma Living Trust dated May 20, 2011, as to an undivided 50% interest and Arthur Ness, as to an undivided 50% interest, as their interest may appear

**Premises.** The Property is:

**(a) Street Address:**

92184 and 92190 Cape Arago Hwy, Coos Bay, OR 97420

**(b) Legal Description:**

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Bill MA  
842 PERU AVE  
SAN FRANCISCO, CA. 94112

**Part Two - Encumbrances**

**Encumbrances.** As of the Effective Date, the Property appears subject to the following monetary and non-monetary encumbrances of record, not necessarily listed in order of priority, including liens specific to the subject property and general index liens (liens that are not property specific but affect any real property of the named person in the same county):

**EXCEPTIONS**

1. Unpaid Property Taxes are as follows:

Fiscal Year: 2021-2022  
Amount: \$125.03, plus interest, if any  
Levy Code: 0927  
Account No.: 75098  
Map No.: 25-13-30CC TL2000  
Personal Property Account

2. Regulations, levies, liens, assessments, rights of way and easements of Charleston Sanitary District.

3. Rights of the public to any portion of the Land lying within the area commonly known as public streets, roads, alley, highways..

4. A manufactured home situated on the subject land is classified as personal property, as disclosed by the ownership records of the Building Codes Division. Unless a manufactured home is reclassified from personal to real property, a manufactured housing endorsement (ALTA End. 7-06, 7.1-06 or 7.2-06) is not available until reclassification is completed and an appropriate approval is recorded. NOTE: Depending on circumstances, a manufactured home may be classified as personal property but assessed as real property under ORS 308.875.

5. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: General Telephone Company of the Northwest, Inc.  
Recording Date: December 7, 1981  
Recording No: 81-5-4622

6. Deed Restriction including the terms and provisions thereof,

Recording Date: June 6, 1990  
Recording No: 90-06-0386  
Between: Lavern N. Conn and Haruko Conn  
And: Charleston Sanitary District

7. Terms, provisions and conditions, including, but not limited to, maintenance provisions, and a covenant to share the costs of maintenance, contained in Statutory Warranty Deed

Recording Date: May 19, 2014  
Recording No.: 2014-03694

and Recording Date: June 27, 2014  
and Recording No: 2014-05038

8. Terms, provisions and conditions, including, but not limited to, maintenance provisions, and a covenant to share the costs of maintenance, contained in Statutory Warranty Deed

Recording Date: May 19, 2014

Recording No.: 2014-03696

9. A right of first refusal to purchase said Land with certain terms, covenants, conditions and provisions as set forth in the document

In Favor of: LaVerne N. Conn and Haruko Conn  
Disclosed by: William Ma, as Trustee of the Ma Living Trust dated May 20, 2011 and Arthur Ness  
Recording Date: May 19, 2014  
Recording No: 2014-03698

10. Easement Agreement including the terms and provisions thereof,

Recording Date: May 19, 2014  
Recording No: 2014-03699  
Between: LaVerne N. Conn and Haruko Conn  
And: William Ma, as Trustee of the Ma Living Trust dated May 20, 2011 and Arthur Ness

11. Existing leases and tenancies, if any, and any interests that may appear upon examination of such leases.

12. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.

Note: Property taxes for the fiscal year shown below are paid in full.

Fiscal Year: 2021-2022  
Amount: \$2,133.78  
Levy Code: 0927  
Account No.: 382900  
Map No.: 25-13-30CC TL1900

Note: Property taxes for the fiscal year shown below are paid in full.

Fiscal Year: 2021-2022  
Amount: \$144.80  
Levy Code: 0927  
Account No.: 69402  
Map No.: 25-13-30CC TL1900  
Personal Property Account Assessed to: Helen Marie Hamilton

Note: Property taxes for the fiscal year shown below are paid in full.

Fiscal Year: 2021-2022  
Amount: \$1,654.90  
Levy Code: 0927  
Account No.: 3833000  
Map No.: 25-13-30CC TL2000

Note: Property taxes for the fiscal year shown below are paid in full.

Fiscal Year: 2021-2022  
Amount: \$50.08  
Levy Code: 0927  
Account No.: 83985  
Personal Property Account Assessed to Helen Marie Hamilton and John William Scheirman

Ticor Title Company of Oregon  
Order No. 360621038641

**Note:** Property taxes for the fiscal year shown below are paid in full.

Fiscal Year: 2021-2022  
Amount: \$10.00  
Levy Code: 0927  
Account No.: 132831  
Map No.: 25-13-30CC TL2000  
Personal Property Account Assessed to: Helen Marie Hamilton

**End of Reported Information**

There will be additional charges for additional information or copies. For questions or additional requests, contact:

Coos Bay Title

[coosbaytitle@ticortitle.com](mailto:coosbaytitle@ticortitle.com)

Ticor Title Company of Oregon  
201 Central Avenue  
Coos Bay, OR 97420

**EXHIBIT "A"**  
**Legal Description**

**PARCEL 1:**

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, from which the Southwest corner of the said Section 30 bears South 39° 55 1/3' West a distance of 943.65 feet; and run thence South 53° 03' East for a distance of 480.0 feet; thence North 36° 57' East for a distance of 100.0 feet; thence North 53° 03' West for a distance of 480.0 feet to a point on the Easterly boundary of the above mentioned State Highway; thence South 36° 57' West along the Easterly boundary of the State Highway for a distance of 100.0 feet to the place of beginning, Coos County, Oregon.

**PARCEL 2:**

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 39° 55 1/3' West 943.65 feet; thence South 36° 57' West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South 53° 03' East 480.0 feet; thence North 36° 57' East 100.0 feet; thence North 53° 03' West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30

**LIMITATIONS OF LIABILITY**

"CUSTOMER" REFERS TO THE RECIPIENT OF THIS REPORT.

CUSTOMER EXPRESSLY AGREES AND ACKNOWLEDGES THAT IT IS EXTREMELY DIFFICULT, IF NOT IMPOSSIBLE, TO DETERMINE THE EXTENT OF LOSS WHICH COULD ARISE FROM ERRORS OR OMISSIONS IN, OR THE COMPANY'S NEGLIGENCE IN PRODUCING, THE REQUESTED REPORT, HEREIN "THE REPORT." CUSTOMER RECOGNIZES THAT THE FEE CHARGED IS NOMINAL IN RELATION TO THE POTENTIAL LIABILITY WHICH COULD ARISE FROM SUCH ERRORS OR OMISSIONS OR NEGLIGENCE. THEREFORE, CUSTOMER UNDERSTANDS THAT THE COMPANY IS NOT WILLING TO PROCEED IN THE PREPARATION AND ISSUANCE OF THE REPORT UNLESS THE COMPANY'S LIABILITY IS STRICTLY LIMITED. CUSTOMER AGREES WITH THE PROPRIETY OF SUCH LIMITATION AND AGREES TO BE BOUND BY ITS TERMS

THE LIMITATIONS ARE AS FOLLOWS AND THE LIMITATIONS WILL SURVIVE THE CONTRACT:

ONLY MATTERS IDENTIFIED IN THIS REPORT AS THE SUBJECT OF THE REPORT ARE WITHIN ITS SCOPE. ALL OTHER MATTERS ARE OUTSIDE THE SCOPE OF THE REPORT.

CUSTOMER AGREES, AS PART OF THE CONSIDERATION FOR THE ISSUANCE OF THE REPORT AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO LIMIT THE LIABILITY OF THE COMPANY, ITS LICENSORS, AGENTS, SUPPLIERS, RESELLERS, SERVICE PROVIDERS, CONTENT PROVIDERS AND ALL OTHER SUBSCRIBERS OR SUPPLIERS, SUBSIDIARIES, AFFILIATES, EMPLOYEES, AND SUBCONTRACTORS FOR ANY AND ALL CLAIMS, LIABILITIES, CAUSES OF ACTION, LOSSES, COSTS, DAMAGES AND EXPENSES OF ANY NATURE WHATSOEVER, INCLUDING ATTORNEY'S FEES, HOWEVER ALLEGED OR ARISING, INCLUDING BUT NOT LIMITED TO THOSE ARISING FROM BREACH OF CONTRACT, NEGLIGENCE, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF WARRANTY, EQUITY, THE COMMON LAW, STATUTE OR ANY OTHER THEORY OF RECOVERY, OR FROM ANY PERSON'S USE, MISUSE, OR INABILITY TO USE THE REPORT OR ANY OF THE MATERIALS CONTAINED THEREIN OR PRODUCED, **SO THAT THE TOTAL AGGREGATE LIABILITY OF THE COMPANY AND ITS AGENTS, SUBSIDIARIES, AFFILIATES, EMPLOYEES, AND SUBCONTRACTORS SHALL NOT IN ANY EVENT EXCEED THE COMPANY'S TOTAL FEE FOR THE REPORT.**

CUSTOMER AGREES THAT THE FOREGOING LIMITATION ON LIABILITY IS A TERM MATERIAL TO THE PRICE THE CUSTOMER IS PAYING, WHICH PRICE IS LOWER THAN WOULD OTHERWISE BE OFFERED TO THE CUSTOMER WITHOUT SAID TERM. CUSTOMER RECOGNIZES THAT THE COMPANY WOULD NOT ISSUE THE REPORT BUT FOR THIS CUSTOMER AGREEMENT, AS PART OF THE CONSIDERATION GIVEN FOR THE REPORT, TO THE FOREGOING LIMITATION OF LIABILITY AND THAT ANY SUCH LIABILITY IS CONDITIONED AND PREDICATED UPON THE FULL AND TIMELY PAYMENT OF THE COMPANY'S INVOICE FOR THE REPORT.

THE REPORT IS LIMITED IN SCOPE AND IS NOT AN ABSTRACT OF TITLE, TITLE OPINION, PRELIMINARY TITLE REPORT, TITLE REPORT, COMMITMENT TO ISSUE TITLE INSURANCE, OR A TITLE POLICY, AND SHOULD NOT BE RELIED UPON AS SUCH. THE REPORT DOES NOT PROVIDE OR OFFER ANY TITLE INSURANCE, LIABILITY COVERAGE OR ERRORS AND OMISSIONS COVERAGE. THE REPORT IS NOT TO BE RELIED UPON AS A REPRESENTATION OF THE STATUS OF TITLE TO THE PROPERTY. THE COMPANY MAKES NO REPRESENTATIONS AS TO THE REPORT'S ACCURACY, DISCLAIMS ANY WARRANTY AS TO THE REPORT, ASSUMES NO DUTIES TO CUSTOMER, DOES NOT INTEND FOR CUSTOMER TO RELY ON THE REPORT, AND ASSUMES NO LIABILITY FOR ANY LOSS OCCURRING BY REASON OF RELIANCE ON THE REPORT OR OTHERWISE.

IF CUSTOMER (A) HAS OR WILL HAVE AN INSURABLE INTEREST IN THE SUBJECT REAL PROPERTY, (B) DOES NOT WISH TO LIMIT LIABILITY AS STATED HEREIN AND (C) DESIRES THAT ADDITIONAL LIABILITY BE ASSUMED BY THE COMPANY, THEN CUSTOMER MAY REQUEST AND PURCHASE A POLICY OF TITLE INSURANCE, A BINDER, OR A COMMITMENT TO ISSUE A POLICY OF TITLE INSURANCE. NO ASSURANCE IS GIVEN AS TO THE INSURABILITY OF THE TITLE OR STATUS OF TITLE. CUSTOMER EXPRESSLY AGREES AND ACKNOWLEDGES IT HAS AN INDEPENDENT DUTY TO ENSURE AND/OR RESEARCH THE ACCURACY OF ANY INFORMATION OBTAINED FROM THE COMPANY OR ANY PRODUCT OR SERVICE PURCHASED.

NO THIRD PARTY IS PERMITTED TO USE OR RELY UPON THE INFORMATION SET FORTH IN THE REPORT, AND NO LIABILITY TO ANY THIRD PARTY IS UNDERTAKEN BY THE COMPANY.

CUSTOMER AGREES THAT, TO THE FULLEST EXTENT PERMITTED BY LAW, IN NO EVENT WILL THE COMPANY, ITS LICENSORS, AGENTS, SUPPLIERS, RESELLERS, SERVICE PROVIDERS, CONTENT PROVIDERS, AND ALL OTHER SUBSCRIBERS OR SUPPLIERS, SUBSIDIARIES, AFFILIATES, EMPLOYEES AND SUBCONTRACTORS BE LIABLE FOR CONSEQUENTIAL, INCIDENTAL, INDIRECT, PUNITIVE, EXEMPLARY, OR SPECIAL DAMAGES, OR LOSS OF PROFITS, REVENUE, INCOME, SAVINGS, DATA, BUSINESS, OPPORTUNITY, OR GOODWILL, PAIN AND SUFFERING, EMOTIONAL DISTRESS, NON-OPERATION OR INCREASED EXPENSE OF OPERATION, BUSINESS INTERRUPTION OR DELAY, COST OF CAPITAL, OR COST OF REPLACEMENT PRODUCTS OR SERVICES, REGARDLESS OF WHETHER SUCH LIABILITY IS BASED ON BREACH OF CONTRACT, TORT, NEGLIGENCE, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE, STRICT LIABILITY, BREACH OF WARRANTIES, FAILURE OF ESSENTIAL PURPOSE, OR OTHERWISE AND WHETHER CAUSED BY NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF CONTRACT, BREACH OF WARRANTY, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE OR ANY OTHER CAUSE WHATSOEVER, AND EVEN IF THE COMPANY HAS BEEN ADVISED OF THE LIKELIHOOD OF SUCH DAMAGES OR KNEW OR SHOULD HAVE KNOWN OF THE POSSIBILITY FOR SUCH DAMAGES.

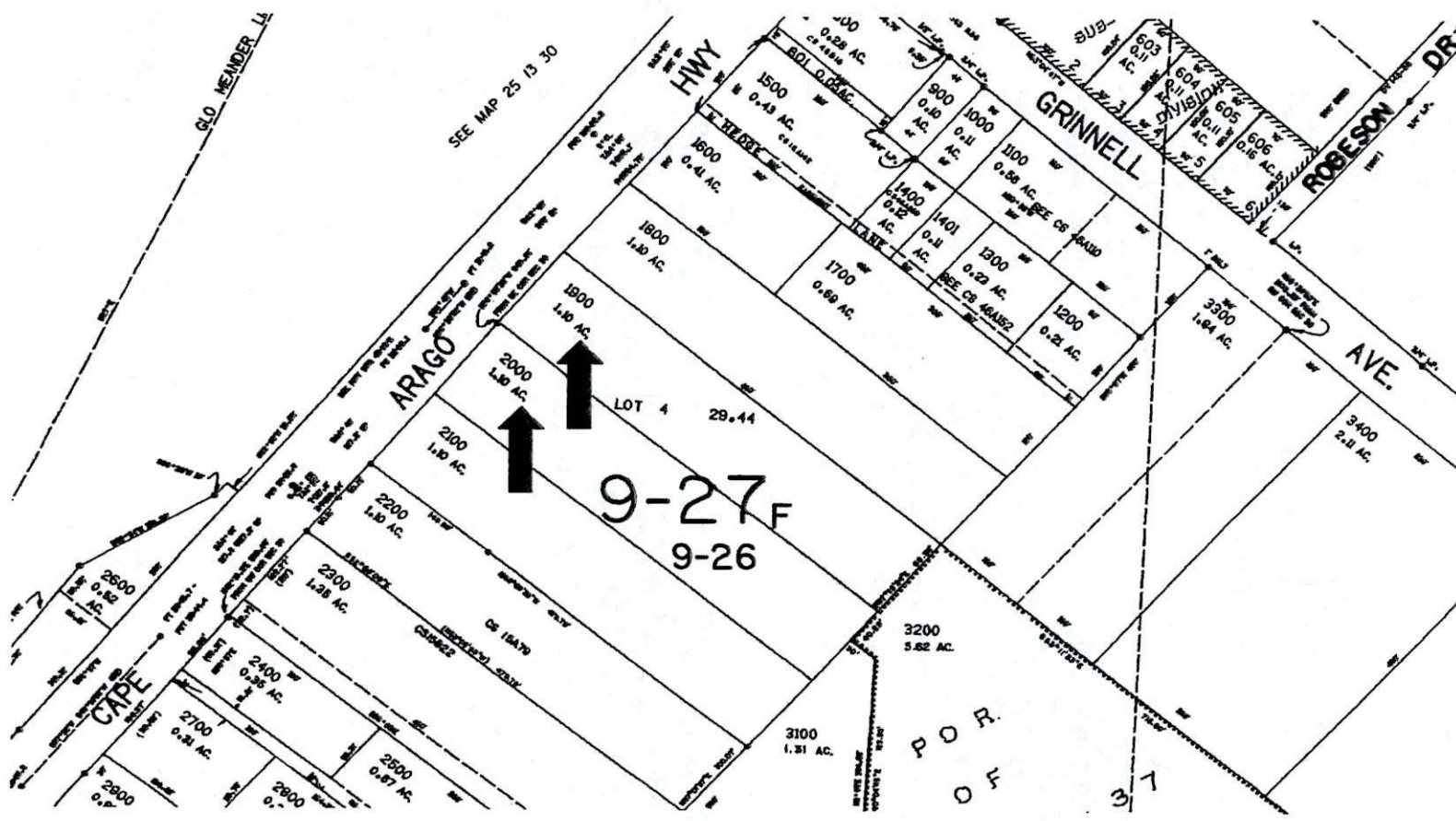
END OF THE LIMITATIONS OF LIABILITY



TICOR TITLE™



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, locations of easements, acreage or other matters shown thereon.





THIS MAP WAS PREPARED FOR  
ASSESSMENT PURPOSE ONLY

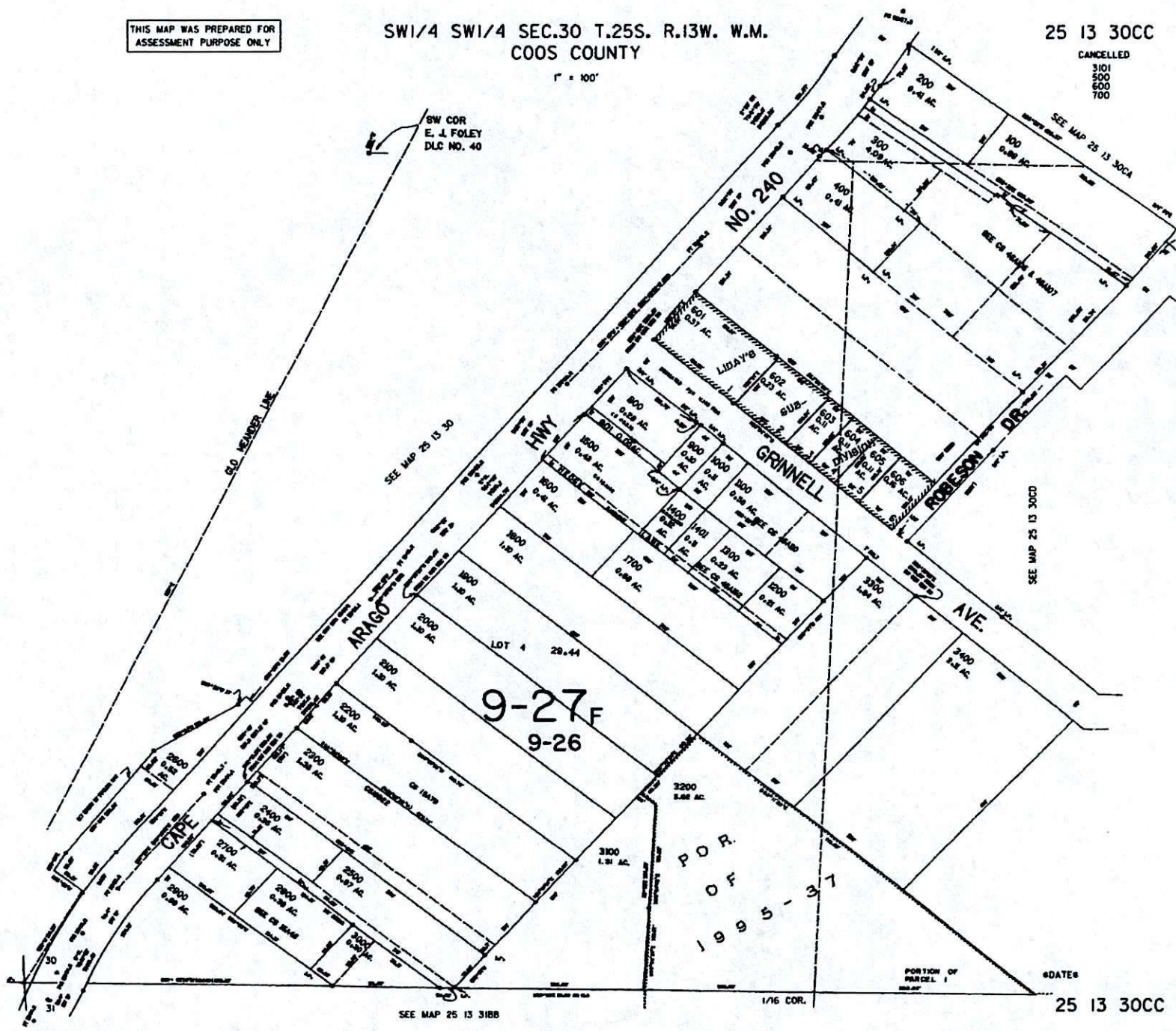
SW 1/4 SW 1/4 SEC. 30 T. 25S. R. 13W. W.M.  
COOS COUNTY

1" = 100'

25 13 30CC

CANCELLED  
3101  
500  
600  
700

SW COR  
E. J. FOLEY  
DLC NO. 40



SEE MAP 25 13 30

SEE MAP 25 13 30CC

SEE MAP 25 13 31BB

1/16 COR.

DATE

25 13 30CC

March 2022 Data Set (PARCEL ALIGNMENT WITH PHOTO MAY NOT BE EXACT)

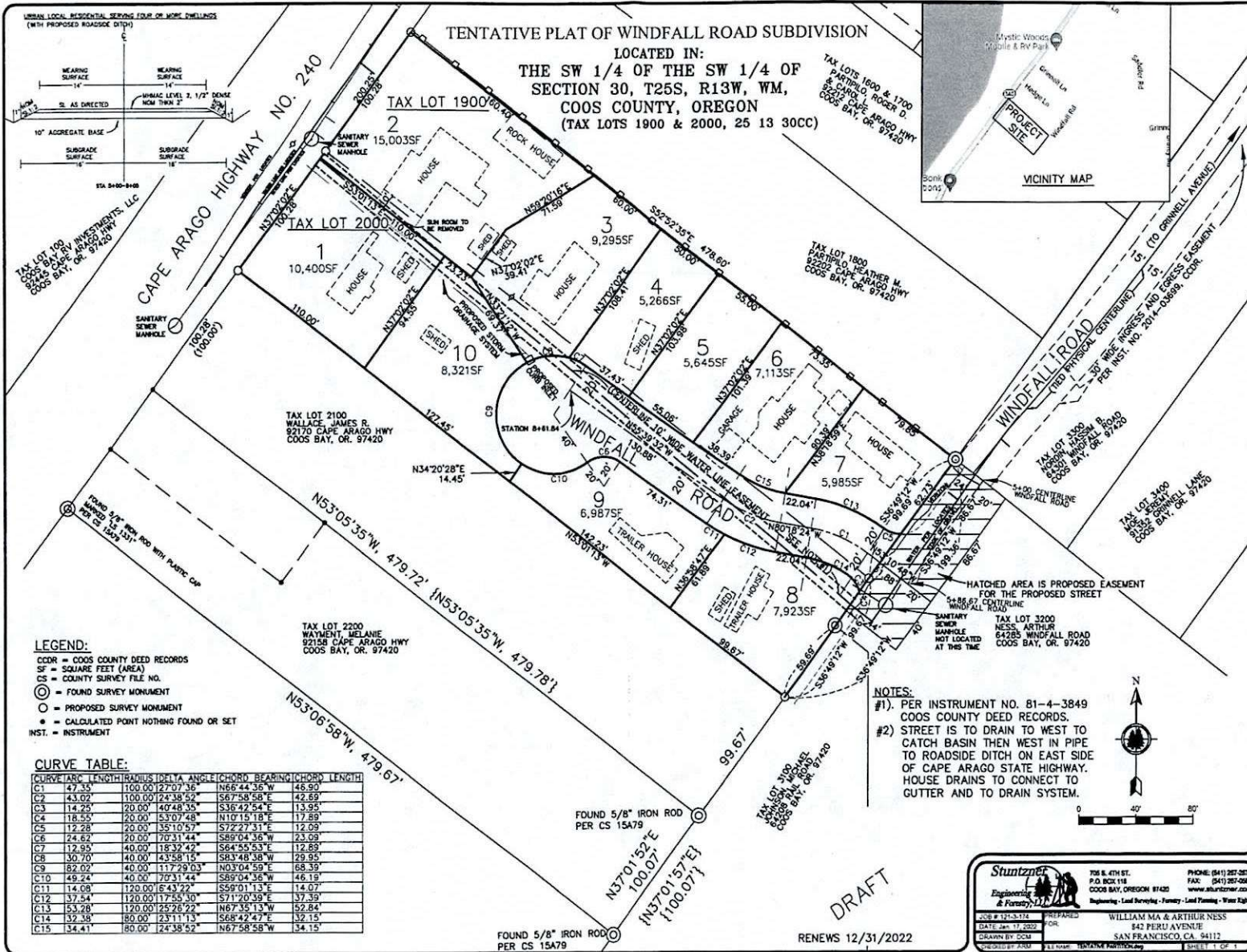


200ft

Copyright:© 2013 National Geographic Society, i-cubed | Employment | Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community | © 2022 Microsoft Corporation, © 2022 Maxar, ©CNES (2022) Distribution Airbus DS, © 2022 TomTom

44

7302508



**Stutzner**  
 Engineering & Forestry, LLC  
 705 B. 4TH ST.  
 P.O. BOX 118  
 COOS BAY, OREGON 97420  
 PHONE: (541) 252-2272  
 FAX: (541) 252-2288  
 www.stutzner.com  
 Engineering - Land Surveying - Forestry - Land Planning - Wet Right

JOB # 1714-174 PREPARED FOR WILLIAM MA & ARTHUR NESS  
 DATE JAN. 17, 2022 DRAWN BY DOM SAN FRANCISCO, CA 94112  
 CHECKED BY PAUL  
 SHEET 1 OF 1



# COQUILLE INDIAN TRIBE

3050 Tremont Ave. North Bend, OR 97459  
Telephone: (541) 756-0904 ~ Fax: (541) 756-0847  
[www.coquilletribe.org](http://www.coquilletribe.org)

April 8, 2022

Coos County Planning Department  
[mberglund@co.coos.or.us](mailto:mberglund@co.coos.or.us)  
[planning@co.coos.or.us](mailto:planning@co.coos.or.us)

Re: SUB-22-001

Project location: T25S R13W S36 tl19 & 2000

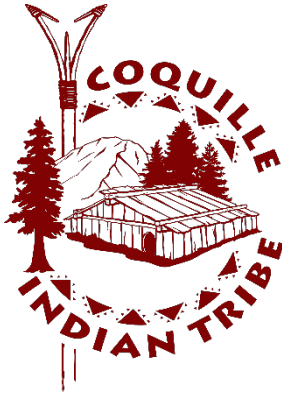
Thank you for the opportunity to comment on the prop proposal to site a subdivision at the above referenced location. The Coquille Indian Tribe concurs with the anticipatory finding of no effect to the known resources within the project area. **Extreme caution is recommended.** If any known or suspected cultural resources are encountered during the work, all work should cease and the landowner or contractor should contact our office immediately.

Please be aware that state statutes and federal law governs how archaeological sites are to be managed. 43 CFR 10 applies on tribal and federal lands, federal projects, federal agencies, as well as to federal actions and federally funded (directly or indirectly) projects. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands. If archaeological materials are discovered, uncovered, or disturbed on the property, we will discuss the appropriate actions with all necessary parties.

Thank you again and feel free to contact me at (541) 808-5554 if you have any questions.

Best,

Kassandra Rippee, M.A., M.L.S.  
Tribal Historic Preservation Officer



# COQUILLE INDIAN TRIBE

3050 Tremont Ave. North Bend, OR 97459  
Telephone: (541) 756-0904 ~ Fax: (541) 756-0847  
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April 8, 2022

Coos County Planning Department  
[mberglund@co.coos.or.us](mailto:mberglund@co.coos.or.us)  
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Best,

Kassandra Rippee, M.A., M.L.S.  
Tribal Historic Preservation Officer

CRT22139

T25-13-30CC TL# 1900

COOS COUNTY PLANNING DEPARTMENT VERIFICATION LETTER

OWNERS NAME Laverne & Haruko Conn DATE 12/14/81  
ADDRESS Rt. 5 Box 432, Coos Bay, OR PHONE 888-3413  
AGENTS NAME NA

PROPERTY IDENTIFICATION:

SEC. 30 TWP. 25 RANGE 13 TAX LOT # 1990/ACC#3829.00  
APPROVED SUBDIVISION NAME NA  
DATE APPROVED NA LOT NA BLOCK NA  
EXISTING STRUCTURES OR OTHER IMPROVEMENTS: (1) mobile home

PUBLIC WATER YES PUBLIC SEWER YES  
ZONING IR-2 ACREAGE 1.10 PARCEL PREEXISTS ORDINANCE YES  
SUFFICIENT ACREAGE YES FIRE ZONE CHARLESTON RFPD

Pertaining to the subject property above described, I hereby consent that I am the legal owner of record, or an agent having consent of the legal owner or record, and am authorized to make the application for a verification letter so as to obtain the necessary building or DEQ permits. The statements within this application are true and correct to the best of my knowledge and belief. I verify that this is a legally created tract, lot or parcel of land. I understand that I have the right to an attorney for verification as to the legal creation of the subject property. I understand that any permit authorized by the Planning Department may be revoked if it is determined that the permit authorization was issued on account of false statements or misrepresentations.

Laverne Conn  
Owner's Signature or Agent's Signature

ZONING REQUIREMENTS: Min lot size 6,000 sq' No bldg. or structure shall exceed 35' in height. Min lot width 60'

SETBACK REQUIREMENTS:

- A. NA Any building or structure shall be located a minimum of 80 feet from the centerline or 20 ft from the boundary of an existing or proposed public road r/w, whichever is greater.
- B. YES Front yard shall be a minimum of 25'. Rear yard shall be a minimum of 15'. Sides yards shall be a total of at least 15', neither of which is less than 7'.
- C. NA Site Plan Review is required.

FLOODPLAIN OR GEOLOGIC HAZARD COMMENT: NO KNOWN POTENTIAL HAZARD

APPLICANT HAS RECEIVED COUNTY CLEARANCE FOR THE FOLLOWING:

- 1. DEQ PERMIT NA
- 2. BUILDING PERMIT PURPOSES YES- PERMIT TO CONSTRUCT AWNING OVER DECK.

\*EXPLANATORY NOTES:  
\_\_\_\_\_  
\_\_\_\_\_

THE EVALUATION OF THE LAND PARCELS OUTLINED ABOVE IS BASED ON THE INFORMATION PRESENTED AT THIS TIME AND AS SHOWN ON THE INTERIM ZONING MAPS.

R. W. Harrington

COOS COUNTY PLANNING DEPARTMENT  
COOS COUNTY COURTHOUSE ANNEX, COQUILLE  
TELEPHONE: 396-3121 Ext 252 or  
267-7009 Ext 252

# COOS COUNTY ZONING COMPLIANCE LETTER

COOS COUNTY PLANNING DEPARTMENT  
 COURTHOUSE ANNEX  
 COQUILLE, OR 97423  
 396-3121 EXT. 210

DATE: 4-14-94  
 FILE: 94-191

APPLICANT: Laverne Conn PHONE: 888-3413  
 OWNER: Laverne Conn + Hauko Conn  
 ADDRESS: 2196 Cape Arago Hwy  
 CITY: Coos Bay STATE: OR ZIP: 97420

LEGAL DESCRIPTION T: 25 R: 13 S: 3000 TL#: 1900  
 ACCOUNT #: 3829,00 ZONE: CD-5 PARCEL SIZE: 1.1

EXISTING STRUCTURES/IMPROVEMENTS *Assessor's Records indicate (3) MH - Applicant*

DWELLING	<input checked="" type="checkbox"/> 2 MH	FARM	<input checked="" type="checkbox"/> Garage Shop	WELL	<input checked="" type="checkbox"/>	PUBLIC WATER	<input checked="" type="checkbox"/>
COMMERCIAL	<input checked="" type="checkbox"/> Dwelling	OTHER	<input checked="" type="checkbox"/>	SPRING	<input checked="" type="checkbox"/>	PUBLIC SEWER	<input checked="" type="checkbox"/>
INDUSTRIAL	<input checked="" type="checkbox"/>	NONE	<input checked="" type="checkbox"/>	SEPTIC	<input checked="" type="checkbox"/>		

ZONING DISTRICT REQUIREMENTS: SETBACKS

FRONT: 20 SIDE: 5 REAR: 5

ALL BUILDINGS OR STRUCTURES WITH THE EXCEPTION OF FENCES SHALL BE SETBACK A MINIMUM OF 35 FT. FROM ANY ROAD RIGHT-OF-WAY CENTERLINE OR A MINIMUM OF 5 FT. FROM ANY ROAD RIGHT-OF-WAY LINE, WHICHEVER IS GREATER.

STRUCTURE HEIGHT : 35 ft :  AIRPORT OVERLAY ZONE :  UGB

RIPARIAN VEGETATION

ALL STRUCTURES SHALL MAINTAIN A 50 FT. MINIMUM SETBACK FROM ALL STREAMS, LAKES AND RIVERS IDENTIFIED ON THE DEPARTMENT OF REVENUE MAPS.

FIREBREAK

CONSTRUCT AND MAINTAIN A FIREBREAK OF AT LEAST 30 FT. RADIUS AROUND THE PROPOSED STRUCTURE.

RURAL RESIDENTIAL COMPATIBILITY WITH FARM/FOREST MANAGEMENT PRACTICES

I HEREBY ACKNOWLEDGE THAT THE NORMAL INTENSIVE MANAGEMENT PRACTICES OCCURRING ON ADJACENT RESOURCE LAND WILL NOT CONFLICT WITH THE RURAL RESIDENTIAL USE OR ENJOYMENT OF THE ABOVE DESCRIBED PROPERTY.

APPLICANT'S SIGNATURE: Laverne Conn

SPECIAL CONSIDERATIONS

<input checked="" type="checkbox"/>	SPECIAL FLOOD HAZARD AREA	FIRM #:	
<input checked="" type="checkbox"/>	ARCHAEOLOGICAL/HISTORICAL	<input checked="" type="checkbox"/>	MINERAL RESOURCES
<input checked="" type="checkbox"/>	COASTAL SHORELANDS	<input checked="" type="checkbox"/>	BEACHES AND DUNES
<input checked="" type="checkbox"/>	NATURAL HAZARDS	<input checked="" type="checkbox"/>	OTHER

*Assessor's Records indicate (3) MH - Applicant*  
*indicated the 8x45 Broomman MH is not on the property*



COOS COUNTY AUTHORIZES CLEARANCE FOR THE FOLLOWING STATE PERMITS

DEPARTMENT OF ENVIRONMENTAL QUALITY

<input checked="" type="checkbox"/>	SITE EVALUATION	<input checked="" type="checkbox"/>	REPAIR EXISTING SYSTEM
<input checked="" type="checkbox"/>	INSTALL NEW SEPTIC SYSTEM	<input checked="" type="checkbox"/>	RECONNECT EXISTING SEPTIC
<input checked="" type="checkbox"/>	OTHER		

BUILDING CODES AGENCY

<input checked="" type="checkbox"/>	CONSTRUCT SINGLE FAMILY DWELLING	<input checked="" type="checkbox"/>	REPAIR OR ALTER EXISTING DWELLING
<input checked="" type="checkbox"/>	SITE MANUFACTURED DWELLING	<input checked="" type="checkbox"/>	CONSTRUCT ACCESSORY STRUCTURE
<input checked="" type="checkbox"/>	CONSTRUCT FARM BUILDING	<input checked="" type="checkbox"/>	OTHER
<input checked="" type="checkbox"/>	AUTHORIZATION BASED ON APPLICATION FILE #:		

EXPLANATORY NOTES AND/OR CONDITIONS:

Attention: owner and DEQ:  
 Additional clearance by the Charleston Sanitary District is required for all on-site septic disposal system repair or installation, or connection to the District's sanitary system.  
*clearance to site a Compost (20x21) on the subject property as an accessory structure.*

APPLICANT'S STATEMENT

PERTAINING TO THE SUBJECT PROPERTY DESCRIBED ABOVE, I HEREBY DECLARE THAT I AM THE LEGAL OWNER OF RECORD OR AN AGENT HAVING CONSENT OF THE LEGAL OWNER OF RECORD AND AM AUTHORIZED TO OBTAIN THIS ZONING COMPLIANCE LETTER SO AS TO OBTAIN NECESSARY PERMITS FOR DEVELOPMENT FROM THE DEPARTMENT OF ENVIRONMENTAL QUALITY AND/OR THE BUILDING CODES AGENCY. THE STATEMENTS WITHIN THIS FORM ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I VERIFY THAT THIS IS A LEGALLY CREATED TRACT, PARCEL OR LOT AND THAT LEGAL ACCESS TO THE SUBJECT PROPERTY EXISTS. I UNDERSTAND THAT ANY PERMITS AND/OR AUTHORIZATION FOR DEVELOPMENT ISSUED BY THE PLANNING DEPARTMENT MAY BE REVOKED IF IT IS DETERMINED THAT IT WAS ISSUED BASED ON FALSE STATEMENTS, MISREPRESENTATIONS OR IN ERROR. AS A CONDITION FOR ISSUING THIS ZONING COMPLIANCE LETTER THE UNDERSIGNED HEREBY AGREES TO HOLD COOS COUNTY HARMLESS FROM AND INDEMNIFY THE COUNTY FOR ANY LIABILITY FOR DAMAGE WHICH MAY OCCUR AS A RESULT OF THE FAILURE TO BUILD, IMPROVE OR MAINTAIN ROADS WHICH SERVE AS ACCESS TO THE SUBJECT PROPERTY.

APPLICANT'S SIGNATURE: *X L. Vene Conn*

COOS COUNTY COMPLIANCE

THE COOS COUNTY PLANNING DEPARTMENT FINDS THAT THE PROPOSED USES COMPLY WITH APPLICABLE PROVISIONS OF THE COOS COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE. THE INFORMATION CONTAINED ON THIS FORM REFLECTS THE STATUS OF THE SUBJECT PROPERTY AND LAND USE REGULATIONS THAT EXIST AT THE TIME OF ISSUANCE.

AUTHORIZED SIGNATURE: *Thode J Reins*

TITLE: *Planning Tech*

DATE: *4-14-94*

FOR OFFICE USE ONLY

FEE RECEIVED: *\$20.00* RECEIPT #: *0193* CHECK #: *1860*

NO CHARGE, BASED ON APPLICATION #: \_\_\_\_\_ STAFF: \_\_\_\_\_

OTHER: \_\_\_\_\_

Doug McMahan

**From:** Bill Ma <wma57@yahoo.com>  
**Sent:** Monday, July 11, 2022 10:26 AM  
**To:** Doug McMahan  
**Subject:** Re: ACCESS EASEMENT FROM GRINNELL AVE. TO THE SOUTHERLY BOUNDARY OF PROPOSED WINDFALL ROAD SUBD.

Thank you Doug

On Monday, July 11, 2022, 09:47:53 AM PDT, Doug McMahan <dmcumahan@stuntzner.com> wrote:

Good morning, Crystal,

I have researched the history of the easement provided for Windfall Road from Grinnell Ave. to the southerly boundary of the proposed subdivision,

And I found that the Grantor (Conn) owned all the properties involved or mentioned in Document 2014-03699, including Parcel 1 of Partition Plat No. 1999-37.

Therefore, the easement does begin at the southerly boundary of Grinnell Avenue and ends at the southeasterly boundary of Tax lots 1900 & 2000,

being the southeasterly boundary of Bill Ma's proposed subdivision.

Douglas C. McMahan, PLS

RE: WINDFALL ROAD SUBD.  
(William Ma)

Tax Lot 3200 (Parcel 104 2/11/22 cum  
1995-37)

Conn, LAVERNE N. & HARUKO  
sold to:

ARTHUR NESS Oct - 2016 - 008929

sold to:

Current - WITTWER, DEBORAH L. & FRANK L.  
2022 - Jan 2022

TAX LOT 3300

Conn, LAVERNE N. & HARUKO

sold to:

2020 - 13024  
DEC. 2020

NORDIN, HASSIM E.

Current

TAX LOT 1900

Conn, LAVERNE N. & HARUKO

sold to:

Current - MA LIVING TRUST, MAY 15, 2014

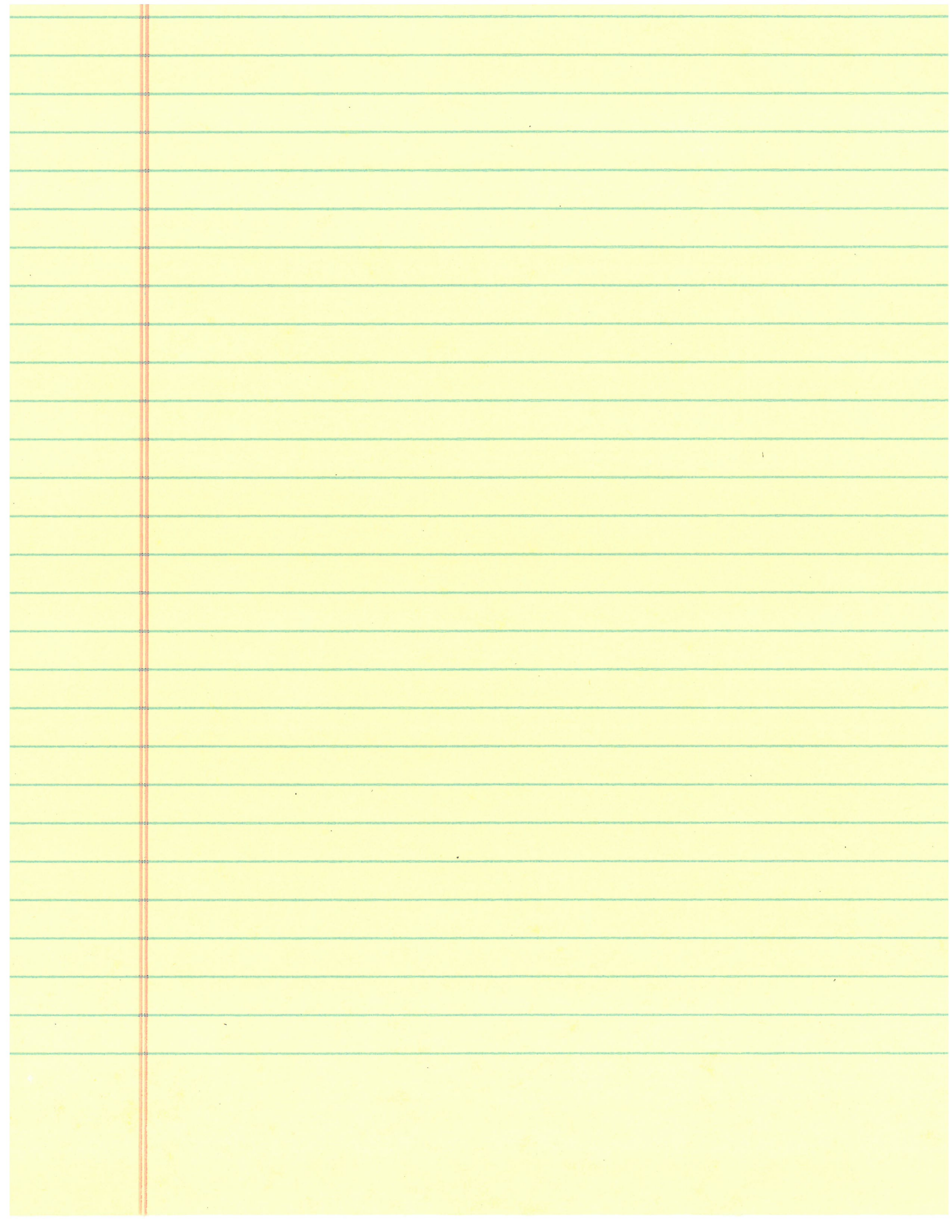
TAX LOT 2000

← SAME TIME

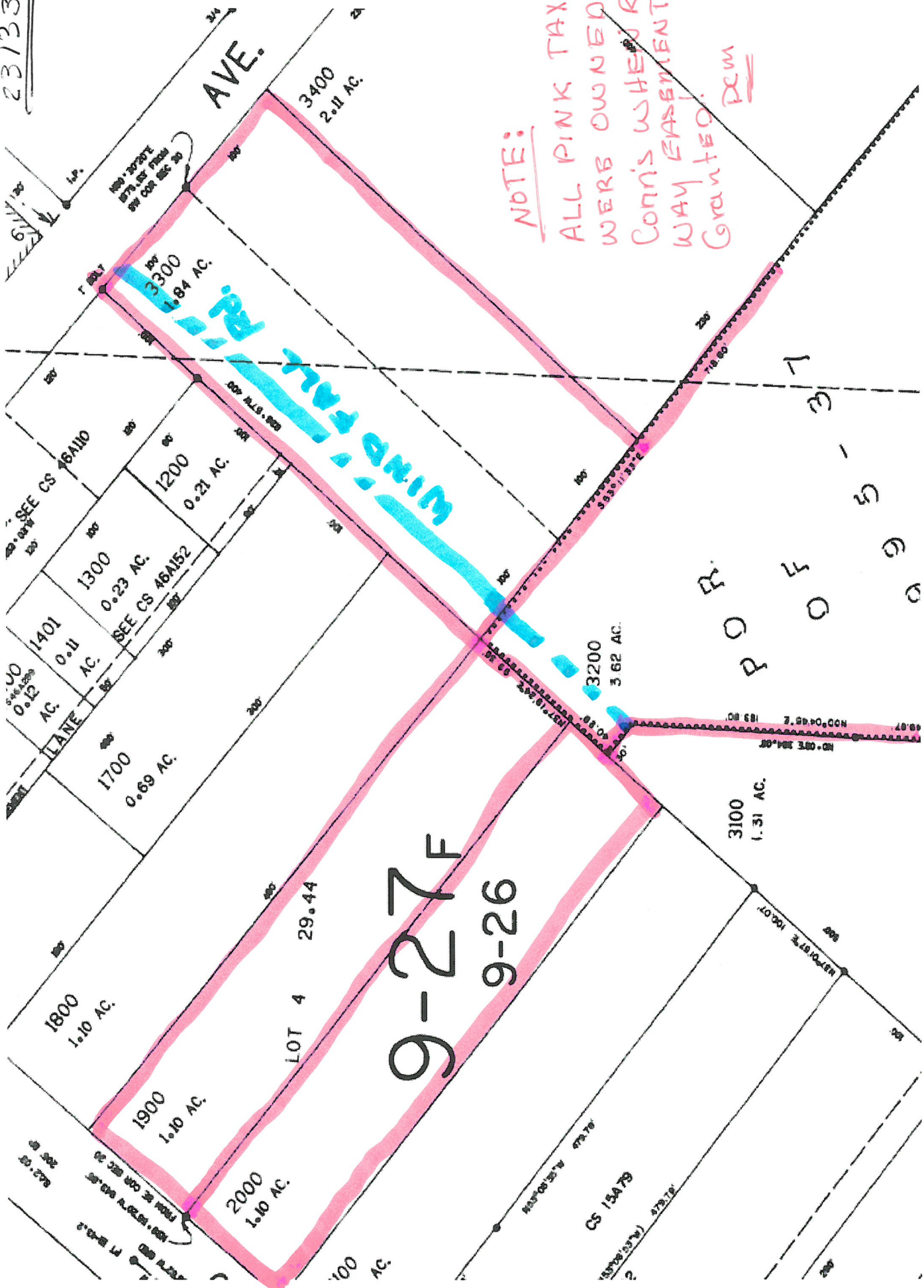
Conn, LAVERNE N. & HARUKO

sold to:

Current - MA LIVING TRUST  
MAY 15, 2014



231330CC



NOTE:  
 ALL PINK TAXLOTS  
 WERE OWNED BY  
 CONN'S WHEN ROAD  
 WAY EASEMENT WAS  
 GRANTED.  
 PCW

9-27F  
 9-26

POFF



# FINAL LAND PARTITION PLAN

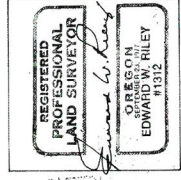
A PORTION OF THE NE 1/4 OF THE NW 1/4 AND THE SW 1/4 OF SECTION 31, T.25 S., R.13 W. W.M. COOS COUNTY OREGON. TOWNSHIP 25 SOUTH. RANGE 13 WEST. COOS COUNTY OREGON

**NARRATIVE** - THE PURPOSE OF THIS SURVEY WAS TO ESTABLISH AND MONUMENT THE PARCELS OF A LAND PARTITION APPROVED BY COOS COUNTY MONUMENTS FOUND ALONG THE EAST BOUNDARY OF PARTITION PLAT 1944. THE SURVEY WAS FOUND TO BE BEARING AND TOGETHER WITH THE 7" IRON ROD FOUND AT THE SE CORNER OF THE SUBJECT PARCEL CONTROLLED THE POSITION OF MONUMENTS SET. BEARINGS ARE ASSUMED FROM SAID PARTITION PLAT 1944. THE CHORD LINE CAME FROM BEZEE FIELD NOTES AND DEEDS. NOTE - MR. DONALD SMITH, OWNER OF LANDS SURVEYED IN PARTITION PLAT 1944 HAS CHOSE TO DRIVE 2" IRON PIPES OVER THE TOP OF ALL THE 7" IRON RODS SET BY TRUSS CHORDS IN SAID PARTITION.

## DESCRIPTION

BEGINNING AT A 2" IRON PIPE WHICH BEARS N 87°03'17" E - 98.9 FEET FROM THE NW CORNER OF SECTION 31, T.25 S., R.13 W. W.M. COOS COUNTY OREGON; THENCE N 00°05'32" E - 223.67 FEET TO A 2" IRON PIPE; THENCE N 52°11'33" E - 712.60 FEET TO A 2" IRON PIPE; THENCE N 36°45'30" E - 40.74 FEET TO A 1" IRON PIPE; THENCE N 57°19'24" E - 99.36 FEET TO A 1" IRON PIPE; THENCE S 69°11'23" E - 710.60 FEET TO A 3" IRON PIPE; THENCE N 87°04'51" E - 186.52 FEET TO A 1/2" IRON PIPE; THENCE S 00°02'50" E - 172.30 FEET TO A 1/2" IRON PIPE; THENCE ALONG SAID NORTH LINE S 66°45' W - 529.46 FEET TO A 7/8" IRON ROD; THENCE LEAVING SAID NORTH LINE N 00°22' W - 115.00 FEET TO A 7/8" IRON ROD; THENCE S 70°05'43" W - 242.65 FEET TO A 7/8" IRON ROD; THENCE S 00°22' E - 150.00 FEET TO A 7/8" IRON ROD ON THE NORTH LINE OF TARHEEL ROAD; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 205.63 FEET THROUGH A CENTRAL ANGLE OF 14°21'51" TO THE LONG CHORD OF WHICH BEARS S 76°15'28" W - 51.29 FEET TO A 2" IRON PIPE, THENCE LEAVING SAID NORTH LINE N 00°22' W - 493.01 FEET BACK TO THE INITIAL POINT. SAID PARCEL CONTAINING 9.15 ACRES, MORE OR LESS.

EDWARD W. RILEY  
P.O. BOX 630  
NORTH BEND, OR.



EDWARD W. RILEY  
P.O. BOX 630  
NORTH BEND, OR.

## NOTES

THERE ARE NO WATER RIGHTS APPURTENANT TO THIS PROPERTY  
TARHEEL ROAD WAS CREATED BY DOCUMENT # 143 - 11-12 JUNE 15, 1947.

## DECLARATION

WE THE UNDERSIGNED HEREBY CERTIFY THAT WE ARE THE PARTIES OF TITLE INTEREST IN THE LANDS SUBJECT OF THIS APPLICATION, AND HEREBY CONSENT TO THE PREPARATION AND RECORDING OF THIS LAND PARTITION PLAN. ACCESS WILL BE PROVIDED BY TARHEEL ROAD, A PRIVATELY MAINTAINED PUBLIC ROADWAY.

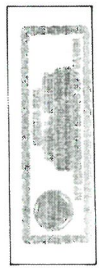
APPLICANTS -  
LAVERNE N. CONN  
2196 CAPE ARAGO HIGHWAY  
COOS BAY, OR.

LaVerne N. Conn  
LAVERNE N. CONN

Haruko Conn  
HARUKO CONN

SUBSCRIBED AND SWORN TO BEFORE ME THIS 31st DAY OF July, 1995.

Shirley S. Bennett  
NOTARY PUBLIC FOR OREGON



## CERTIFICATES

KARLAS E. SEIDEL COOS COUNTY SURVEYOR DO HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH THE REQUIREMENTS FOR ACCURACY AND COMPLETENESS UNDER COUNTY AND STATE STATUTES.

KARLAS E. SEIDEL  
KARLAS E. SEIDEL COOS CO SURVEYOR

9-14-95  
DATE

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE COPY OF THE ORIGINAL PLAN

Edward W. Riley  
EDWARD W. RILEY P.L.S. #1312

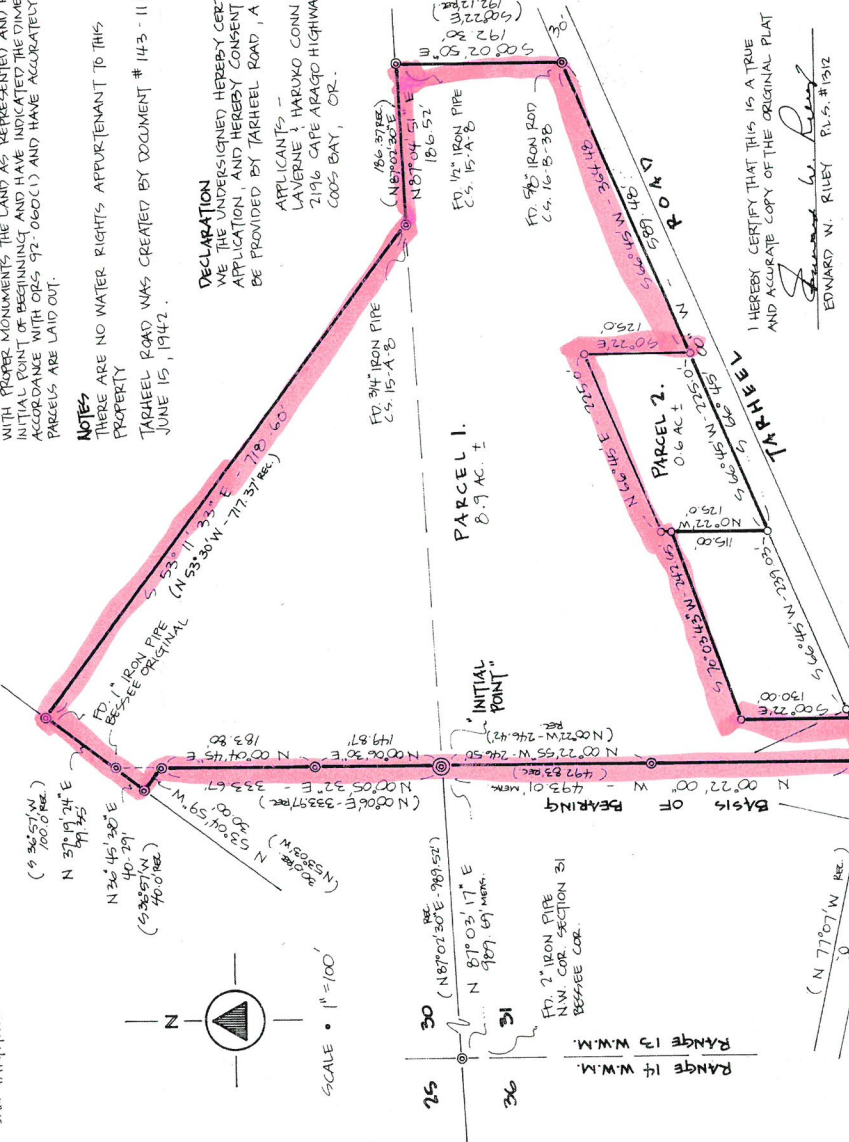
MARY ANN WILSON, COUNTY CLERK OF COOS COUNTY, OREGON HEREBY CERTIFY THAT THIS LAND PARTITION PLAN WAS RECORDED INTO THE COOS COUNTY RECORDS IN:

MICROFILM NO. 95-04-0998  
CABINET S-137 RECORD OF PLATS  
THIS IS THE DAY OF September, 1995  
09-28-1995  
DATE  
MARY ANN WILSON  
COOS COUNTY CLERK

## LEGEND

- FOUND 2" IRON PIPE (TAKEN OVER THE TOP OF A 7" IRON ROD) (FP 1944#16) EXCEPT AS NOTED
- SET 5/8" X 30" IRON ROD W/CAP # 1312
- 7" IRON PIPE OVER 5/8" IRON ROD
- INITIAL POINT
- CORNER OF RECORD NOT SET THIS SURVEY - USED FOR CHORD CALC.

CURVE INFORMATION AT PROPERTY LINE			
#	RAD.	L.	CHORD
TOTAL	205.63	179.67	36.0800'
A	205.63	69.14	17°16'02"
B	205.63	51.53	14°21'52"
C	205.63	9.05	2°31'18"



WILLIAM P. GRILE  
COOS CO PLANNING DIRECTOR

9-18-95  
DATE

COOS COUNTY, OREGON  
2014-03699  
\$76.00  
05/19/2014 02:37:49 PM  
Pg 57



TERRI L. TURL, Coos County Clerk

### EASEMENT AGREEMENT

After Recording Return To:  
Ma Living Trust and Arthur Ness  
842 Peru Ave  
San Francisco, CA 94112  
4010784  
AFTER RECORDING  
RETURN TO  
TICOR Title Company  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233

THIS EASEMENT AGREEMENT is made and entered into this 16<sup>th</sup> day of May, 2014, by and between LAVARNE N. CONN and HARUKO CONN, hereinafter referred to as "Grantors" and WILLIAM MA as Trustee of the Ma Living Trust dated May 20, 2011, and ARTHUR NESS, hereinafter referred to as "Grantees". The parties hereto agree as follows:

1. For good and valuable consideration, the receipt of which is hereby acknowledged, Grantors do hereby grant and give to Grantees a perpetual, appurtenant, nonexclusive, easement and right-of-way for purposes of ingress and egress over that certain existing roadway known as Windfall Road from the intersection of said roadway with Grinnell Avenue, a public right-of-way, to the boundary line of Grantees' real property described in Exhibit "A" hereto. Said easement is located on the real property of Grantors described in Exhibit "B" hereto and consists of a strip of land 30 feet in width the centerline of which is the centerline of the presently existing roadway known as Windfall Road.

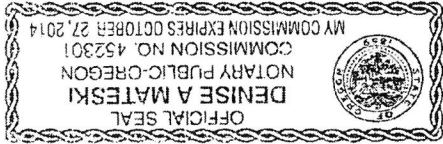
2. The parties hereto agree to share the cost of repairs and maintenance to the roadway over the above described easement in proportion to their respective use of said roadway. The parties agree that prior to any such repair or maintenance the parties shall consult with one another to determine what repair or maintenance is required, who shall perform the repair or maintenance, and the allocation of costs therefore between the parties hereto. In the event said roadway requires an emergency repair the parties agree that one of the parties hereto may authorize such repair without the prior approval of the other party hereto provided the cost of such repair is \$500.00 or less. For purposes of the preceding sentence an emergency repair shall be deemed to mean a repair necessitated by reason of a sudden occurrence which obstructs the easement to such an extent that the same is rendered unusable for ingress and egress.

3. The easement granted by this instrument shall be appurtenant to the real property described in Exhibit A hereto.

IN WITNESS WHEREOF the parties hereto have made and executed this Easement Agreement on the day and year first written above.

Handwritten notes:  
TOL 04/23/00  
Current  
NORDIN  
2020-13024  
2020-13024  
K# 352300



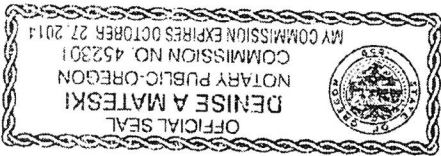


Denise Mateski  
Notary Public - State of Oregon

Personally appeared before me the above named Haruko Conn who acknowledged the foregoing instrument as her voluntary act and deed.

May 16, 2014

STATE OF Oregon )  
County of Clatsop )  
ss. )



Denise Mateski  
Notary Public - State of Oregon

Personally appeared before me the above named Laverne N. Conn who acknowledged the foregoing instrument as his voluntary act and deed.

May 16, 2014

STATE OF Oregon )  
County of Clatsop )  
ss. )

Arthur Ness

Haruko Conn

William Ma as Trustee of the Ma  
Living Trust dated May 20, 2011

Laverne N. Conn

GRANTEES:

GRANTORS:

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

Personally appeared before me the above named Haruko Conn who acknowledged the foregoing instrument as her voluntary act and deed.

\_\_\_\_\_, 2014  
\_\_\_\_\_  
County of \_\_\_\_\_ )  
STATE OF \_\_\_\_\_ ) ss. \_\_\_\_\_ )

\_\_\_\_\_  
Notary Public - State of \_\_\_\_\_

Personally appeared before me the above named LaVerne N. Conn who acknowledged the foregoing instrument as his voluntary act and deed.

\_\_\_\_\_, 2014  
\_\_\_\_\_  
County of \_\_\_\_\_ )  
STATE OF \_\_\_\_\_ ) ss. \_\_\_\_\_ )

\_\_\_\_\_  
Arthur Ness

\_\_\_\_\_  
Haruko Conn

\_\_\_\_\_  
Living Trust dated May 20, 2011  
William Ma as Trustee of the Ma  
\_\_\_\_\_  
Trustee

\_\_\_\_\_  
LaVerne N. Conn

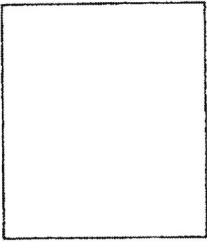
GRANTEES:

GRANTORS:

Other Information:

- \_\_\_\_\_ Other
- \_\_\_\_\_ President / Vice-President / Secretary / Treasurer
- \_\_\_\_\_ CEO / CFO / COO
- \_\_\_\_\_ Power of Attorney
- \_\_\_\_\_ Trustee
- \_\_\_\_\_ Capacity of Signer

Check here if  
no thumbprint  
or fingerprint  
is available.



Thumbprint of Signer

- \_\_\_\_\_ Type of Satisfactory Evidence:
- \_\_\_\_\_ Personally Known with Paper Identification
- \_\_\_\_\_ Paper Identification
- \_\_\_\_\_ Credible Witness(es)

Document in a Foreign Language

Number of Pages in Document

Type or Title of Document  
3  
Trust Agreement

Date of Document

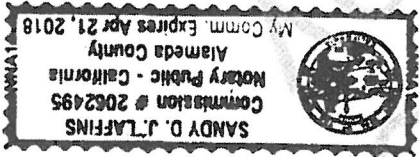
May 16, 2014

OPTIONAL INFORMATION

Signature

*[Handwritten Signature]*

WITNESS my hand and official seal.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) were subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/hers/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

personally appeared Arthur Kloss

On May 16, 2014 before me, Sandy DJ Laffins, Notary Public,

County of Alameda ss.

State of California

ACKNOWLEDGMENT

EXHIBIT "A"

PARCEL I:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Williamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 39° 55' 1/3" West 943.65 feet; thence South 36° 57' West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South 53° 03' East 480.0 feet; thence North 36° 57' East 100.0 feet; thence North 53° 03' West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30.

PARCEL II:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Williamette Meridian, from which the Southwest corner of the said Section 30 bears South 39° 55' 1/3" West a distance of 943.65 feet; and run thence South 53° 03' East for a distance of 480.0 feet; thence North 36° 57' East for a distance of 100.0 feet; thence North 53° 03' West for a distance of 480.0 feet to a point on the Easterly boundary of the above mentioned State Highway; thence South 36° 57' West along the Easterly boundary of the State Highway for a distance of 100.0 feet to the place of beginning, Coos County, Oregon.

TL 1980

TL 2000

That portion of Parcel 1 of Partition Plat 1995-37 filed and recorded September 28, 1995, CAB C-139 bearing instrument no. 95-09-0998, real property records of Coos County, Oregon, which lies North of an East-West line which line is located 30 feet South of the Northern most point of said Parcel 1 of Partition Plat 1995-37.

PARCEL II:

Beginning at a point in Lot 3, Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 60° 30-1/3' West 1573.53 feet; thence North 53° 03' West 100 feet; thence South 36° 57' West 400 feet; thence South 53° 03' East 200 feet; thence North 36° 57' East 400 feet; thence North 53° 03' West 100 feet to the place of beginning.

PARCEL I:

72 3500

AFTER RECORDING

RETURN TO

Ticor Title Company

300 West Anderson Ave. - Box 1075

Coos Bay, OR 97420-0233

GRANTOR:

Laverne N. Conn and Haruko Conn

GRANTEE:

Ma Living Trust and Arthur Ness

SEND TAX STATEMENTS TO and

AFTER RECORDING RETURN TO:

Ma Living Trust

842 Peru Ave

San Francisco, CA 94112

Escrow No.: 360614010642-TTCC0006

SPACE ABOVE THIS LINE FOR RECORDER'S USE

STATUTORY WARRANTY DEED

Laverne N. Conn and Haruko Conn, Grantor, conveys and warrants to William Ma, Trustee of the Ma

Living Trust dated May 20, 2011, as to an undivided 50% interest and Arthur Ness, as to an undivided

50% interest; Grantee, the following described real property, free and clear of encumbrances except as

specifically set forth below, situated in the County of Coos, State of Oregon:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Williamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 39° 55' 1/3" West 943.65 feet; thence South 36° 57' West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South 53° 03' East 480.0 feet; thence North 36° 57' East 100.0 feet; thence North 53° 03' West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30.

Together with a permanent easement across 25-13-30CC tax lot 3300, identified as "Windfall Road", to the grantees thereby providing free and unhindered access to tax lots 1900 and 2000 of 25-13-30CC. The grantors and grantees hereby agree to share in the maintenance costs of Windfall Road. Such maintenance costs shall be mutually agreed prior to any maintenance being done. In the event of a needed "emergency repair", either party may expend up to \$500.00 without mutual approval.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$95,000.00. (See ORS 93.030)

Subject to and excepting: Taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS, BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: 5-15-14

Laverne N. Conn  
Haruko Conn

State of OREGON  
COUNTY of

360614010642-TTCC0006  
Deed (Warranty-Statutory)

COOS COUNTY, OREGON 2014-03696  
\$51.00  
05/18/2014 02:37:49 PM  
Pg 2



Terril L. Turk, Coos County Clerk

Unofficial Copy



State of OREGON

COUNTY of Was

This instrument was acknowledged before me on

May 15, 2014

by LaVerne N. Conn and Haruko Conn

My commission expires: 10-27-14,  
Notary Public - State of Oregon

RECORDING REQUESTED BY:  
**TICOR TITLE**  
Company of Oregon

300 W Anderson Avenue  
Coos Bay, OR 97420

**AFTER RECORDING RETURN TO:**

Arthur Ness  
792 Fundy Court  
Tracy, CA 95377

**SEND TAX STATEMENTS TO:**

Arthur Ness  
792 Fundy Court  
Tracy, CA 95377

mh3412, 383900, 385500, 25-13-31BAtl#600,  
25-13-30CCTL#3200, 25-13-31BAtl#600 and 25-13-31BAtl#200  
91439 Tahheel Rd., Coos Bay, OR 97420

COOS COUNTY, OREGON  
2016-008929  
\$51.00  
10/07/2016 11:48:59 AM  
Terri L. Tun, Coos County Clerk  
Pg=2

**AFTER RECORDING  
RETURN TO  
TICOR TITLE COMPANY  
300 West Anderson Ave. - Box 1075  
Coos Bay, OR 97420-0233**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

Laverne N. Conn and Haruko Conn, as tenants by the entirety, Grantor, conveys and warrants to Arthur Ness, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

Parcel 1, of Final Partition Plat 1995 #37, filed and recorded September 28, 1995, CAB C-137, bearing Microfilm Reel No. 95-09-0998, Records of Coos County, Oregon.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS EIGHTY-EIGHT THOUSAND EIGHT HUNDRED EIGHTY-EIGHT AND NO/100 DOLLARS (\$88,888.00). (See ORS 93.030).

**Subject to:**

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2016-2017.

Tax Identification No.: 383900, 385500 and 385600

2. The Land does not include any improvement(s) located on the Land which is described or defined as a mobile home (manufactured housing unit) under the provisions of State Law and is subject to registration. Affects: Manufactured Home Coos County Assessors account 83412, ownership shown as Laverne Conn and Haruko Conn. Manufactured Home is no longer being assessed by the Coos County Assessors office for tax purposes.

3. Rights of the public to any portion of the Land lying within the area commonly known as public roads, streets and highways.

4. Minor Partition, including the terms and provisions thereof,

Recording Date: August 14, 1989  
Recording No.: 89-08-1400

5. Deed Restriction, including the terms and provisions thereof,

Recording Date: June 6, 1990  
Recording No.: 90-06-0386

6. Final land Partition Plat 1995 #37, CAB C-137, including the terms and provisions thereof,

Recording Date: September 28, 1995  
Recording No.: 95-09-0998

7. Agreement Easement Agreement, including the terms and provisions thereof,

Executed by: Laverne N. Conn and Haruko Conn and William Ma as Trustee of the Ma Living Trust  
dated May 20, 2011 and Arthur Ness  
Recording Date: May 19, 2014  
Recording No.: 2014-3699

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN



STATUTORY WARRANTY DEED

(continued)

VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: 22<sup>nd</sup> 2016

\* Laverne N Conn

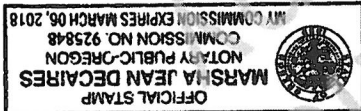
\* Haruko Conn

State of Oregon  
County of 2005

This instrument was acknowledged before me on 10-6-2016 by Laverne N Conn and Haruko Conn.

Marsha Jean DeLuca  
Notary Public - State of Oregon

My Commission Expires: 3-6-18





Tarril L. Turf, Coos County Clerk

AFTER RECORDING RETURN TO Titor Title Company 300 West Anderson Ave. - Box 1075 Coos Bay, OR 97420-0233

RECORDING REQUESTED BY:

GRANTOR: Dixie R. Bauer, and Michael Sean Bauer and Marlon Ruth Bauer 64208 Rail Rd Coos Bay, OR 97420

GRANTEE: Michael D. Johnson and Robyn M. Johnson 2010 Lindberg Coos Bay, OR 97420

SEND TAX STATEMENTS TO: Michael D. Johnson and Robyn M. Johnson 64208 Rail Rd Coos Bay, OR 97420

Escrow No: 360614011854-TTC0007

383800 C 927 383800 C 927 64208 Rail Rd Coos Bay, OR 97420

SPACE ABOVE THIS LINE FOR RECORDER'S USE

STATUTORY WARRANTY DEED

Dixie R. Bauer, and Michael Sean Bauer and Marlon Ruth Bauer, Grantor, conveys and warrants to Michael D. Johnson and Robyn M. Johnson, as tenants by the entirety, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

SEE LEGAL DESCRIPTION ATTACHED HERETO

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$325,000.00. (See ORS 93.030)

Subject to and excepting:

Taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS, BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING

TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

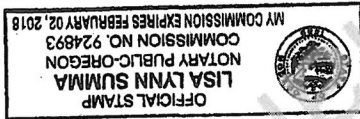
DATED: January 14, 2015

[Signature]  
Dixie R. Bauer  
[Signature]  
Michael Sean Bauer  
[Signature]  
Marion Ruth Bauer

State of OREGON  
COUNTY of COOS

This instrument was acknowledged before me on January 14, 2015  
by Dixie R. Bauer.

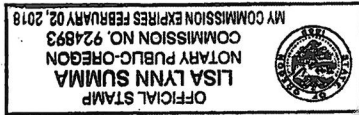
[Signature]  
My commission expires: 2.2.2015  
Notary Public - State of Oregon



State of OREGON  
COUNTY of COOS

This instrument was acknowledged before me on January 14, 2015  
by Michael Sean Bauer and Marion Ruth Bauer.

[Signature]  
My commission expires: 2.2.2015  
Notary Public - State of Oregon



Unofficial  
Copy

LEGAL DESCRIPTION

PARCEL 1:

Lot 21, Barview Acre Tracts: Beginning at a point on the Southerly boundary of Section 30, Township 25 South, Range 13 West of the Willamette Meridian, from which point the iron pipe at the Southwest corner of said Section 30 bears South 87° 02' 1/2" West a distance of 689.54 feet; running thence North 0° 06' East along said South boundary of Section 30, for a distance of 300.30 feet; thence North 0° 06' East for a distance of 384.08 feet; thence South 36° 57' West for a distance of 500.0 feet to the point of beginning, and being a portion of Lot 4, Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon.

EXCEPTING THEREFROM that portion thereof described in instrument recorded May 17, 1988 Microfilm Reel Number 88-5-1032 more particularly described as follows: Beginning at a point on the South boundary of Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the iron pipe at the Southwest corner of said Section 30 bears South 87° 02' 1/2" West, a distance of 989.54 feet; thence North 00° 06' East a distance of 384.08 feet to the true point of beginning. Thence South 36° 57' West a distance of 40.00 feet; thence South 53° 03' East a distance of 29.98 feet; thence North 00° 06' East a distance of 49.99 feet to the true point of beginning.

PARCEL 2:

TOGETHER WITH an easement for ingress, egress and utilities, created by instrument recorded May 12, 1994 bearing Microfilm Reel Number 94-05-0482, Deed Records of Coos County, Oregon.

# COOS County Assessor's Summary Report

## Real Property Assessment Report

FOR ASSESSMENT YEAR 2022

NOT OFFICIAL VALUE

July 11, 2022 7:21:43 am

**Account #** 383900  
**Map #** 25S1330CC03200  
**Code - Tax #** 0927-383900  
**Legal Descr** See Record  
**Mailing Name** WITTMER, DEBORAH L & FRANK L  
**Deed Reference #** 2022-226  
**Agent**  
**In Care Of**  
**Mailing Address** 8020 20TH ST SE  
 LAKE STEVENS, WA 98258-4709  
**Prop Class** 109 **MA SA NH Unit**  
**RMV Class** 101 **01 02 BRV** 6607-1  
**Situs Address(es)**  
 ID# 10 64285 WINDFALL RD  
 COOS BAY

Code Area	RMV	MAV	AV	SAV	MSAV	RMV Exception	CPR %
0927	37,130					Land Impr.	0
<b>Code Area Total</b>	37,130	43,230	37,130	0	0		0
<b>Grand Total</b>	37,130	43,230	37,130	0	0		0

Code Area	ID#	RFPD Ex	Plan	Value Source	TD% LS	Size	Land Class	LUC	RMV
0927	10	<input checked="" type="checkbox"/>	UR-2	Market	100 A	3.62	MHS	002	37,130
<b>Grand Total</b>						3.62			37,130

Code Area	ID#	Yr	Stat	Description	Improvement Breakdown	Total	Sq. Ft.	Ex% MS Acct #	RMV
0927									
<b>Grand Total</b>							0		0

**Code Area** 0927  
**FIRE PATROL:**  
 ■ FIRE PATROL TIMBER  
**MS Account(s):** 0927-P-63684

**Amount** 18.75 **Acres** 2.62 **Year** 2022

**COOS COUNTY ASSESSOR'S NAME LEDGER**

**Account ID** 383900 **Township** 25S **Range** 13 **Section** 30 **1/4** 1/16 **Taxlot** 03200 **Special Interest**

**Effective Date** 13-Sep-2010 12:00 AM **Transaction ID** -42179 **Entry Date** 13-Sep-2010 **Recorded Date** 13-Sep-2010 **Sale Date** 13-Sep-2010

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-42179	2010	ASSESSOR'S FILE		2010	-383900	1	CONVERSION		CONVERSION	

**Size Changes** Code 0927 + / - Size 3.62 Acres **Alternate Size** Code Area Deleted Move to Acct Move To Code

**Size Totals** Code 0927 Acres 3.62 **Sqft** **Alternate Size**

**Effective Date** 08-Apr-2011 8:52 AM **Transaction ID** 52273 **Entry Date** 08-Apr-2011 **Recorded Date** 08-Apr-2011 **Sale Date**

DELETING OLD SITUS ADDRESS OF 499 GRINNELL #09

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	68231	2011	ASSESSOR	CORR	2011	2328	1			SITUS CHANGE	

**Size Totals** Code 0927 Acres 3.62 **Sqft** **Alternate Size**

**Effective Date** 25-Oct-2016 1:30 PM **Transaction ID** 923511 **Entry Date** 10-Oct-2016 **Recorded Date** 07-Oct-2016 **Sale Price** \$88,888 **Sale Date** 06-Oct-2016

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	1158953	2017	CLERK	WD	2016	8929	1			NAME CHANGE	

**Name Changes** Status Name Ownership Type Ownership %  
 D CONN, LAVERNE N. & HARUKO OWNER 100.0000  
 A NESS, ARTHUR OWNER  
 OWNER NESS, ARTHUR

**Size Totals** Code 0927 Acres 3.62 **Sqft** **Alternate Size**

**Effective Date** 02-Feb-2022 2:04 PM **Transaction ID** 2990714 **Entry Date** 25-Jan-2022 **Recorded Date** 07-Jan-2022 **Sale Price** \$187,000 **Sale Date** 03-Jan-2022

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
3	3338614	2022	CLERK	WD	2022	226	1			NAME CHANGE	



**Special Interest**

**Taxlot**  
03200

**1/16**  
C C

**Section**  
30

**Range**  
13

**Township**  
25S

Name Changes	Status	Name	Acres	Sqft	Alternate Size	Ownership Type	Ownership %
D		NESS, ARTHUR				OWNER	
A		WITTWER, DEBORAH L				OWNER	
A		WITTWER, FRANK L				OWNER	
		OWNER					
		TENANTS BY ENTIRETY					
		WIFE					
		WITTWER, DEBORAH L					
		HUSBAND					
		WITTWER, FRANK L					

**Size Totals**  
Code 0927    Acres 3.62    Sqft    Alternate Size



**COOS COUNTY ASSESSOR'S NAME LEDGER**

7/11/2022 7:36:57 AM

**Account ID** 382900 **Township** 25S **Range** 13 **Section** 30 **1/4** **1/16** **Taxlot** 01900 **Special Interest**

**Effective Date** 13-Sep-2010 12:00 AM **Transaction ID** -42192 **Entry Date** 13-Sep-2010 **Recorded Date** 13-Sep-2010 **Sale Date** 13-Sep-2010

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-42192	2010	ASSESSOR'S FILE		2010	-382900	1	CONVERSION		CONVERSION	

Size Changes	Code	+ / - Size	Alternate Size	Code Area Deleted	Move to Acct	Move To Code
	0927	1.10 Acres				
<b>Size Totals</b>	0927	1.10				

**Effective Date** 08-Apr-2011 8:13 AM **Transaction ID** 52255 **Entry Date** 08-Apr-2011 **Recorded Date** 08-Apr-2011 **Sale Date**

DELETING OLD SITUS ADDRESSES OF 2194, 2196, & 2198 CAPE ARAGO HY

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	68210	2011	ASSESSOR	CORR	2011	2312	1			SITUS CHANGE	

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

**Effective Date** 23-Jul-2014 4:55 PM **Transaction ID** 574823 **Entry Date** 23-Jul-2014 **Recorded Date** 19-May-2014 **Sale Date**

REFERENCE ONLY - ERROR IN SPELLING OF GRANTEE'S NAME

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	670771	2014	CLERK	WD	2014	03694	1			NOTATION	

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

**Effective Date** 06-Aug-2014 12:49 PM **Transaction ID** 574824 **Entry Date** 23-Jul-2014 **Recorded Date** 27-Jun-2014 **Sale Price** \$150,000 **Sale Date** 15-May-2014

CORRECTS DEED 2014-03694

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	670772	2014	CLERK	WD	2014	05038	1			NAME CHANGE	

**Account ID** 382900 **Township** 25S **Range** 13 **Section** 30 **1/4** C **1/16** C **Taxlot** 01900 **Special Interest**

Name Changes	Status	Name	Name Type	Ownership Type	Ownership %
D		CONN, LAVERNE N. & HARUKO	OWNER	OWNER	100.0000
A		MA LIVING TRUST 5-20-2011	OWNER	OWNER	
A		MA, WILLIAM	OWNER	OWNER AS TRUSTEE	
A		NESS, ARTHUR	OWNER	OWNER	

OWNER AS TENANTS IN COMMON (50%)  
 MA LIVING TRUST 5-20-2011  
 TRUSTEE  
 MA, WILLIAM  
 OWNER AS TENANTS IN COMMON (50%)  
 NESS, ARTHUR

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

**Effective Date** 26-Oct-2017 11:29 AM **Transaction ID** 1113561 **Entry Date** 26-Oct-2017 **Recorded Date** 26-Oct-2017 **Sale Date**

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	1364787	2018	ASSESSOR'S FILE	CORR	2018	264	1			SITUS CHANGE	

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

**Effective Date** 02-Nov-2018 1:55 PM **Transaction ID** 2779601 **Entry Date** 02-Nov-2018 **Recorded Date** 02-Nov-2018 **Sale Date**

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	3066972	2019	TAX OFFICE	TAX	2019	77	1			MAILING NAME	

Name Changes	Status	Name	Name Type	Ownership Type	Ownership %
D		MA LIVING TRUST 5-20-2011; ETAL	AMON		
A		MA LIVING TRUST 5-20-2011; ETAL	AMON		

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

**COOS COUNTY ASSESSOR'S NAME LEDGER**

7/11/2022 7:37:29 AM

**Account ID** 383000    **Township** 25S    **Range** 13    **Section** 1/4    **1/16 Taxlot** C    **Special Interest** C    **02000**

**Effective Date** 01-Feb-1981 12:00 AM    **Transaction ID** -164217    **Entry Date** 01-Feb-1981    **Recorded Date** 01-Feb-1981    **Sale Date** 01-Feb-1981

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-181491	1991	HISTORICAL - BOR	U	1991	143842	1	810207807		NAME CHANGE	
<b>Name Changes</b> <b>Status</b> <b>Name</b> <b>Name Type</b> <b>Ownership Type</b> <b>Ownership %</b> A    CONN, LAVERNE & HARUKO    OWNER											
<b>Size Totals</b>				<b>Code</b>	<b>Acres</b>	<b>Sqft</b>	<b>Alternate Size</b>				

**Effective Date** 13-Sep-2010 12:00 AM    **Transaction ID** -42191    **Entry Date** 13-Sep-2010    **Recorded Date** 13-Sep-2010    **Sale Date** 13-Sep-2010

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-42191	2010	ASSESSOR'S FILE		2010	-383000	1	CONVERSION		CONVERSION	
<b>Size Changes</b> <b>Code</b> <b>+ / - Size</b> <b>Alternate Size</b> <b>Code Area Deleted</b> <b>Move to Acct</b> <b>Move To Code</b> 0927    1.10 Acres											
<b>Size Totals</b>				<b>Code</b>	<b>Acres</b>	<b>Sqft</b>	<b>Alternate Size</b>				

**Effective Date** 08-Apr-2011 8:18 AM    **Transaction ID** 52258    **Entry Date** 08-Apr-2011    **Recorded Date** 08-Apr-2011    **Sale Date**

DELETING OLD SITUS ADDRESS OF 2222 & 2232 CAPE ARAGO HY, AND 499 GRINNELL #08

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	68215	2011	ASSESSOR	CORR	2011	2315	1			SITUS CHANGE	
<b>Size Totals</b>				<b>Code</b>	<b>Acres</b>	<b>Sqft</b>	<b>Alternate Size</b>				

**Effective Date** 02-Jul-2014 8:10 AM    **Transaction ID** 570373    **Entry Date** 17-Jun-2014    **Recorded Date** 19-May-2014    **Sale Price** \$95,000    **Sale Date** 15-May-2014

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	657715	2014	CLERK	WD	2014	03696	1			NAME CHANGE	

Account ID 383000 Township 25S Range 13 Section 30 1/4 C 1/16 C Taxlot 02000 Special Interest

Name Changes	Status	Name	Ownership Type	Name Type	Ownership %
D		CONN, LAVERNE N. & HARUKO	OWNER	OWNER	100.0000
A		MA LIVING TRUST	OWNER	OWNER	
A		MA, WILLIAM	OWNER AS TRUSTEE	OWNER	
A		NESS, ARTHUR	OWNER	OWNER	
		OWNER AS TENANTS IN COMMON MA LIVING TRUST TRUSTEE MA, WILLIAM OWNER AS TENANTS IN COMMON NESS, ARTHUR			

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

Effective Date 26-Oct-2017 11:30 AM Transaction ID 1113563 Entry Date 26-Oct-2017 Recorded Date 26-Oct-2017 Sale Date

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	1364790	2018	ASSESSOR'S FILE	CORR	2018	265	1			SITUS CHANGE	

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.10		

# COOS COUNTY ASSESSOR'S NAME LEDGER

**Account ID** 382300    **Township** 25S    **Range** 13    **Section** 30    **1/4** 1/16    **Taxlot** C    **Special Interest** 03300

**Effective Date** 21-Jun-1983 12:00 AM    **Transaction ID** -147739    **Entry Date** 21-Jun-1983    **Recorded Date** 21-Jun-1983    **Sale Date** 21-Jun-1983

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-147739	1994	HISTORICAL - BOR	WD	1994	98571	1	94-07-0407		NAME CHANGE	

**Name Changes**    **Status** A    **Name** CONN, LAVERNE N. & HARUKO    **Name Type** OWNER    **Ownership Type**    **Ownership %**

**Size Totals**    **Code**    **Acres**    **Sqft**    **Alternate Size**

**Effective Date** 13-Sep-2010 12:00 AM    **Transaction ID** -42206    **Entry Date** 13-Sep-2010    **Recorded Date** 13-Sep-2010    **Sale Date** 13-Sep-2010

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	-42206	2010	ASSESSOR'S FILE		2010	-382300	1	CONVERSION		CONVERSION	

**Size Changes**    **Code** 0927    **+ / - Size** 1.84 Acres    **Alternate Size**    **Code Area Deleted**    **Move to Acct**    **Move To Code**

**Size Totals**    **Code** 0927    **Acres** 1.84    **Sqft**    **Alternate Size**

**Effective Date** 06-Apr-2011 5:21 PM    **Transaction ID** 52201    **Entry Date** 06-Apr-2011    **Recorded Date** 06-Apr-2011    **Sale Date**

DELETING OLD SITUS ADDRESS OF 499 GRINNELL AND 499 GRINNELL #02

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	67297	2011	ASSESSOR	CORR	2011	2294	1			SITUS CHANGE	

**Size Totals**    **Code** 0927    **Acres** 1.84    **Sqft**    **Alternate Size**

**Effective Date** 26-Oct-2017 11:27 AM    **Transaction ID** 1113557    **Entry Date** 26-Oct-2017    **Recorded Date** 26-Oct-2017    **Sale Date**

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	1364781	2018	ASSESSOR'S FILE	CORR	2018	262	1			SITUS CHANGE	

**Account ID** 382300 **Township** 25S **Range** 13 **Section** 30 **1/4** C **1/16** C **Taxlot** 03300 **Special Interest**

**Size Totals** Code 0927 **Acres** 1.84 **Sqft** **Alternate Size**

**Sale Price** \$0

**Effective Date** 12-Sep-2019 10:36 AM **Transaction ID** 2787687 **Entry Date** 10-Sep-2019 **Recorded Date** 05-Sep-2019 **Sale Date** 19-Apr-2019

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	3093035	2019	CLERK	WD	2019	7893	1			NAME CHANGE	

Name Changes	Status	Name	Name Type	Ownership Type	Ownership %
D	CONN, LAVERNE N. & HARUKO	OWNER	OWNER	OWNER	100.0000
A	CONN, LAVERNE N	OWNER	OWNER AS TRUSTEE	OWNER AS TRUSTEE	
A	CONN, HARUKO	OWNER	OWNER AS TRUSTEE	OWNER AS TRUSTEE	
A	CONN TRUST	OWNER	OWNER	OWNER	
	OWNER				
	CONN TRUST				
	TRUSTEE				
	CONN, LAVERNE N				
	CONN, HARUKO				

**Size Totals** Code 0927 **Acres** 1.84 **Sqft** **Alternate Size**

**Sale Price** \$210,000

**Effective Date** 15-Jan-2021 4:53 PM **Transaction ID** 2923697 **Entry Date** 11-Jan-2021 **Recorded Date** 29-Dec-2020 **Sale Date** 26-Dec-2020

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	3260140	2021	CLERK	WD	2020	13024	1			NAME CHANGE	

Name Changes	Status	Name	Name Type	Ownership Type	Ownership %
D	CONN, LAVERNE N	OWNER	OWNER AS TRUSTEE	OWNER AS TRUSTEE	
D	CONN, HARUKO	OWNER	OWNER AS TRUSTEE	OWNER AS TRUSTEE	
D	CONN TRUST	OWNER	OWNER	OWNER	
A	NORDIN, HASSIM B	OWNER	OWNER	OWNER	
	OWNER				
	NORDIN, HASSIM B				

**Size Totals** Code 0927 **Acres** 1.84 **Sqft** **Alternate Size**

**Effective Date** 21-Sep-2021 7:32 AM **Transaction ID** 2930280 **Entry Date** 21-Sep-2021 **Recorded Date** 21-Sep-2021 **Sale Date**

Seq	Voucher ID	Tax Year	Document Source	Type	ID #1	ID #2	PID	Source ID	PT	Operation	To/From Map
1	3275745	2021	TAX OFFICE	TAX	2021	2057	1			MAILING NAME	

**Account ID** 382300 **Township** 25S **Range** 13 **Section** 30 **1/4** C **1/16** C **Taxlot** 03300 **Special Interest**

Name Changes	Status	Name	Name Type	Ownership Type	Ownership %
	D	NORDIN, HASSIM B	AMON		
	A	NORDIN, HASSIM B	AMON		

Size Totals	Code	Acres	Sqft	Alternate Size
	0927	1.84		



ADDENDUM TO REAL ESTATE SALE AGREEMENT

1 This is an Addendum to: [X] Real Estate Sale Agreement [ ] Seller's Counter Offer [ ] Buyer's Counter Offer
2 Re: Real Estate Sale Agreement No. MN041014-2000 Dated May 14, 2014 Addendum No. "C"
3 Buyer: William Ma, Arthur Ness
4 Seller: Vern Conn, Haruko Conn

5 The real property described as: 92184 Cape Arago Hwy, Coos Bay, OR 97420

6 SELLER AND BUYER HEREBY AGREE THE FOLLOWING SHALL BE A PART OF THE REAL ESTATE SALE AGREEMENT REFERENCED
7 ABOVE.

8 Addendum "A" shall be amended to include a permanent easement across tax lots 3200 and 3300.

9 Closing shall be extended to on or before May 22, 2014.

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28 Buyer Signature William Ma Date a.m. p.m. ←

29 Buyer Signature Arthur Ness Date a.m. p.m. ←

30 Seller Signature Vern Conn Date 5/16, 2014 a.m. 2:00 p.m. ←

31 Seller Signature Haruko Conn Date 5/16, 2014 a.m. 2:00 p.m. ←

32 Selling Licensee Ray Penny Listing Licensee Ray Penny

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**ADDENDUM TO REAL ESTATE SALE AGREEMENT**

1 This is an Addendum to:  Real Estate Sale Agreement  Seller's Counter Offer  Buyer's Counter Offer  
2 Re: Real Estate Sale Agreement No. MN041014-2000 Dated May 14, 2014 Addendum No. "C"  
3 Buyer: William Ma, Arthur Ness  
4 Seller: Vern Conn, Haruko Conn

5 The real property described as: 92184 Cape Arago Hwy, Coos Bay, OR 97420  
6 **SELLER AND BUYER HEREBY AGREE THE FOLLOWING SHALL BE A PART OF THE REAL ESTATE SALE AGREEMENT REFERENCED**  
7 **ABOVE.**

8 Addendum "A" shall be amended to include a permanent easement across tax lots 3200 and 3300.  
9 Closing shall be extended to on or before May 22, 2014.

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28 Buyer Signature [Signature] Date 3/16/14 \_\_\_\_\_ a.m. \_\_\_\_\_ p.m. ←  
William Ma

29 Buyer Signature [Signature] Date 5/16/14 \_\_\_\_\_ a.m. \_\_\_\_\_ p.m. ←  
Arthur Ness

30 Seller Signature \_\_\_\_\_ Date \_\_\_\_\_, \_\_\_\_\_ a.m. \_\_\_\_\_ p.m. ←  
Vern Conn

31 Seller Signature \_\_\_\_\_ Date \_\_\_\_\_, \_\_\_\_\_ a.m. \_\_\_\_\_ p.m. ←  
Haruko Conn

32 Selling Licensee Ray Penny Listing Licensee Ray Penny

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GRANTOR:  
LaVerne N. Conn and Haruko Conn  
GRANTEE:  
Ma Living Trust and Arthur Ness  
SEND TAX STATEMENTS TO and  
AFTER RECORDING RETURN TO:  
Ma Living Trust  
842 Peru Ave  
San Francisco, CA 94112  
Escrow No: 360614010642-TTCOO06

Read and approved  
Ma Living Trust dated May 20, 2011  
BY: \_\_\_\_\_  
William Ma, Trustee  
\_\_\_\_\_  
Arthur Ness



SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

LaVerne N. Conn and Haruko Conn, Grantor, conveys and warrants to William Ma, Trustee of the Ma Living Trust dated May 20, 2011, as to an undivided 50% interest and Arthur Ness, as to an undivided 50% interest, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, Coos County, Oregon, from which point the Southwest corner of said Section 30 bears South 39 ° 55 1/3' West 943.65 feet; thence South 36 ° 57' West along the Easterly boundary of the above mentioned State Highway for a distance of 100.0 feet; thence South 53 ° 03' East 480.0 feet; thence North 36 ° 57' East 100.0 feet; thence North 53 ° 03' West 480.0 feet to the point of beginning, being a portion of Government Lot 4 of said Section 30.

Together with a permanent easement across 25-13-30CC tax lot 3300, identified as "Windfall Road", to the grantees thereby providing free and unhindered access to tax lots 1900 and 2000 of 25-13-30CC. The grantors and grantees hereby agree to share in the maintenance costs of Windfall Road. Such maintenance costs shall be mutually agreed prior to any maintenance being done. In the event of a needed "emergency repair", either party may expend up to \$500.00 without mutual approval.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$95,000.00. (See ORS 93.030)

**Subject to and excepting: Taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.**

**BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.**

DATED: \_\_\_\_\_

\_\_\_\_\_  
LaVerne N. Conn

\_\_\_\_\_  
Haruko Conn

State of OREGON

COUNTY of \_\_\_\_\_

360614010642-TTCOO06  
Deed (Warranty-Statutory)

GRANTOR:  
LaVerne N. Conn and Haruko Conn  
GRANTEE:  
Ma Living Trust and Arthur Ness  
SEND TAX STATEMENTS TO and  
AFTER RECORDING RETURN TO:  
Ma Living Trust  
842 Peru Ave  
San Francisco, CA 94112  
Escrow No: 360614010641-TTCOO06

Read and approved  
The Ma Living Trust, dated May 20, 2011  
BY: \_\_\_\_\_  
William Ma, Trustee  
\_\_\_\_\_  
Arthur Ness



SPACE ABOVE THIS LINE FOR RECORDER'S USE

### STATUTORY WARRANTY DEED

LaVerne N. Conn and Haruko Conn, Grantor, conveys and warrants to William Ma, Trustee of the Ma Living Trust, Dated May 20, 2011, as to an undivided 50% interest, and Arthur Ness, as to an undivided 50% interest, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Coos, State of Oregon:

Beginning at a point on the Easterly boundary of the State Highway through Section 30, Township 25 South, Range 13 West of the Willamette Meridian, from which the Southwest corner of the said Section 30 bears South 39 ° 55 1/3' West a distance of 943.65 feet; and run thence South 53 ° 03' East for a distance of 480.0 feet; thence North 36 ° 57' East for a distance of 100.0 feet; thence North 53 ° 03' West for a distance of 480.0 feet to a point on the Easterly boundary of the above mentioned State Highway; thence South 36 ° 57' West along the Easterly boundary of the State Highway for a distance of 100.0 feet to the place of beginning, Coos County, Oregon.

Together with a permanent easement across 25-13-30CC tax lot 3300, identified as "Windfall Road", to the grantees thereby providing free and unhindered access to tax lots 1900 and 2000 of 25-13-30CC. The grantors and grantees hereby agree to share in the maintenance costs of Windfall Road. Such maintenance costs shall be mutually agreed prior to any maintenance being done. In the event of a needed "emergency repair", either party may expend up to \$500.00 without mutual approval.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS \$150,000.00. (See ORS 93.030)

**Subject to and excepting: taxes, covenants, conditions, restrictions, easements, rights of way, homeowners association assessments, if any, and matters now of record.**

**BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.**

DATED: \_\_\_\_\_

\_\_\_\_\_  
LaVerne N. Conn

\_\_\_\_\_  
Haruko Conn